



MANCORP QUALITY HOMES
 SUE 1/9 EAST STREET
 P.O. BOX 1395
 GARDEN SHEPHERD QLD 4068
 OFFICE 07 5495 2011
 FAX 07 5495 2077
 ACN 085 955 179

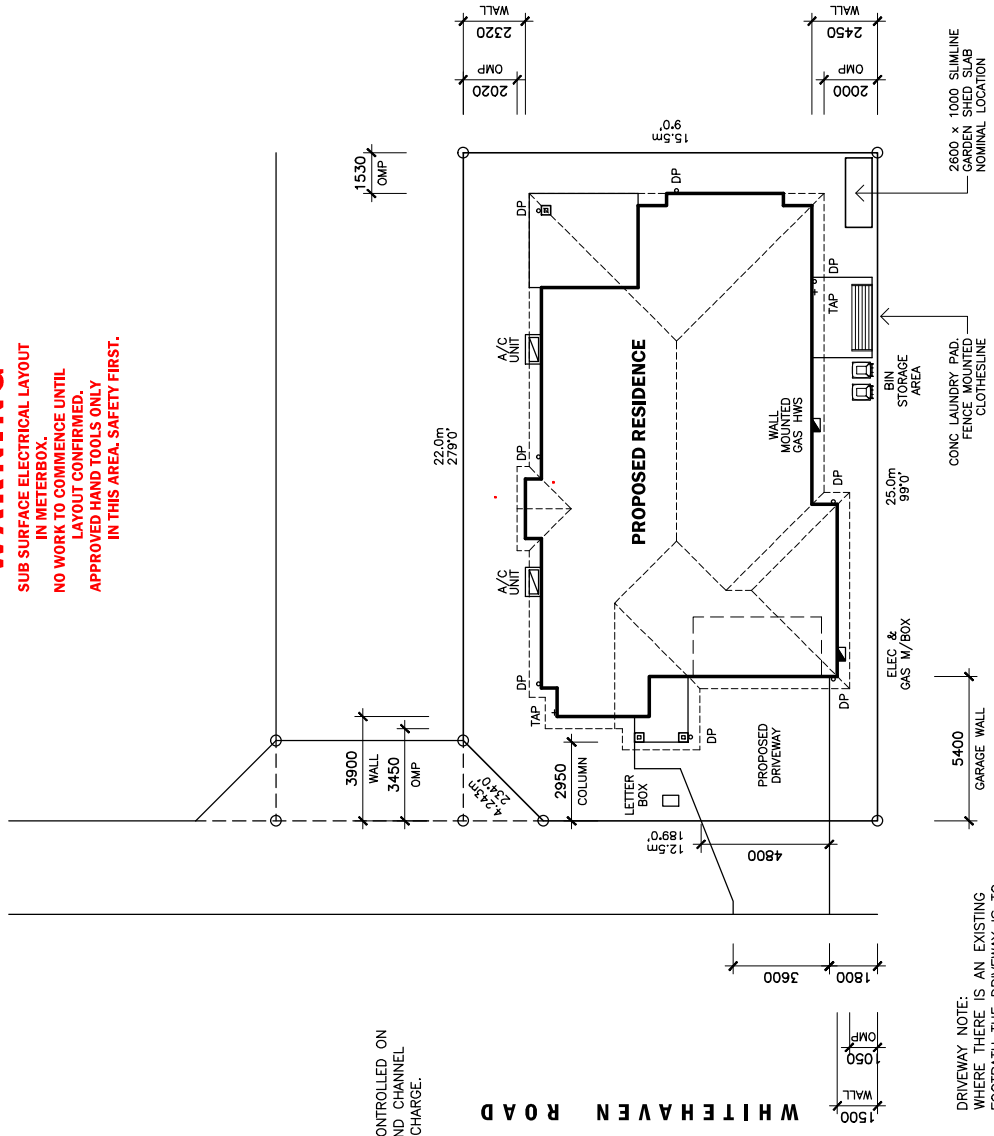
- CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & AS2884.2 - 1989 TIMBER FRAMING MANUAL.
- WINDOW CODES DENOTE HEIGHT x WIDTH e.g. 12.5B = 1200 HIGH x 1500 WIDE.
- DIMENSIONS TAKE PREFERENCE OVER SCALE. DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS, DETAILS, LEVELS & SETOUT ARE TO BE CONFIRMED PRIOR TO COMMENCING CONSTRUCTION. DIMENSIONS NOTIFIED BY ANY DISCREPANCIES OR OMISSIONS.
- DRAWING DIMENSIONS AND DIMENSIONS NOTIFIED IN THE CONTRACT, REFER TO THE CONTRACT FOR SPECIFICATIONS.
- ALL TIMBER FRAMING TO BE TREATED.
- COPYRIGHT 2018 MANCORP QUALITY HOMES- ALL RIGHTS RESERVED.

REAL PROPERTY DESCRIPTION:
 LOT NO. 4923 SP301433
 PARISH REDCLIFFE
 COUNTY STANLEY
 AREA 383sq.m.

FLOOR AREAS:	182.2sq.m.
LIVING	4.1sq.m.
PORCH	11.1sq.m.
ALFRESCO	
TOTAL BUILD	197.4sq.m.
AREA OF SITE	383sq.m.
SITE COVER	51.54%



WARNING
 SUB SURFACE ELECTRICAL LAYOUT IN METERBOX.
 NO WORK TO COMMENCE UNTIL LAYOUT CONFIRMED.
 APPROVED HAND TOOLS ONLY IN THIS AREA. SAFETY FIRST.



DRIVEWAY NOTE:
 WHERE THERE IS AN EXISTING FOOTPATH THE DRIVEWAY IS TO ABUT & NOT CUT THROUGH THE FOOTPATH

- GENERAL SITE NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH AS3500 AS2870 AND THE BCA.
 2. ROOF STORMWATER TO BE CONTROLLED ON SITE AND DIRECTED TO KERB AND CHANNEL OR OTHER LEGAL POINT OF DISCHARGE.
 3. ALL STORMWATER LINES TO HAVE 100mm MINIMUM COVER.
 4. DOWNPIPES TO BE #90 UPVC.
 5. DOWNPIPES TO BE MAXIMUM 12m LINEAL APART.
 6. SITE WORKS HAVE NOT BEEN ADDRESSED IN THIS PLAN. CUT AND FILL REQUIREMENTS TO BE DETERMINED ON SITE.

* CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & ASSURANCE - 1989
TIMBER FRAMING MANUAL.
* WINDOW CODES DENOTE HEIGHT, WIDTH & S-12.5B = 1200 HIGH X 1500 WIDE.
* DIMENSIONS TAKE PREFERENCE OVER SCALE. DIMENSIONS ARE IN MILLIMETERS (M.M.).
* ALL DIMENSIONS, DETAILS, LEVELS & SETOUT ARE TO BE CONFIRMED PRIOR TO COMMENCING WORK. DIMENSIONS NOTIFIED OF ANY INCREASES OR DIMINUTIONS.
* FINISH LEVELS ARE ON FINISHED FLOORING ARE NOT TRUE REPRESENTATIONS OF THE FINISH CONTRACT FOR SPECIFICATIONS.
* ALL TIMBER FRAMING TO BE TERNITE TREATED.
* COPYRIGHT 2018 MANCORP QUALITY HOMES- ALL RIGHTS RESERVED.

CLIENT:
MANCORP QUALITY HOMES

PROJECT:
PROPOSED RESIDENCE

LOCATION:
**LOT 4923
WHITEHAVEN ROAD
NEWPORT
STAGE D49**

WORKING DRAWING	
REV	DATE DESCRIPTION
A	14/11/18 DRAWING ISSUE
B	09/07/19 STREET NAME
C	09/07/19 SHR BASES / ENS OSD

REF: N/A

DRAWN: LCA CHECKED:

JOB No.

SHEET SIZE: A3

SCALE: AS SHOWN

SHEET No.

APPROVED SMOKE DETECTOR
INSTALLED AS PER THE BCA PART
3.7.2. LOCATED ON OR NEAR
CEILING TO COMPLY WITH AS3786

SOLID WALLS INDICATE
TIMBER CONSTRUCTION

HATCHED WALLS INDICATE
MASONRY CONSTRUCTION

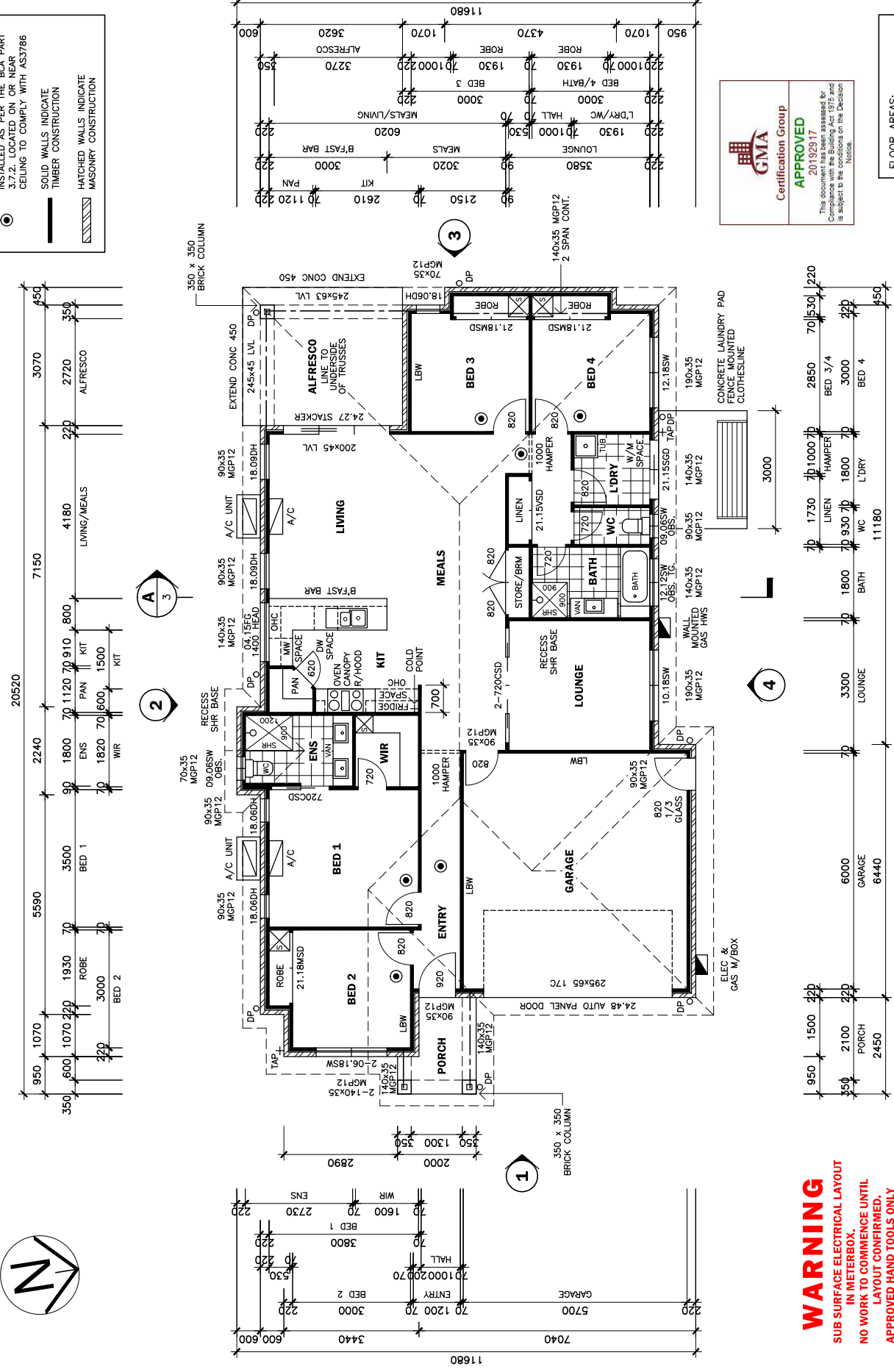


Certification Group
APPROVED
20/10/2019

This document has been assessed for
Compliance with the Building Act 1975 and
is subject to the conditions on the Decision
Notice.

FLOOR AREAS:

LIVING	182.2sq.m.
PORCH	4.1sq.m.
ALFRESCO	11.1sq.m.
TOTAL BUILD	197.4sq.m.
AREA OF SITE	383sq.m.
SITE COVER	51.54%



WARNING
SUB SURFACE ELECTRICAL LAYOUT
IN METERBOX.
NO WORK TO COMMENCE UNTIL
LAYOUT CONFIRMED.
APPROVED HAND TOOLS ONLY
IN THIS AREA. SAFETY FIRST.

FLOOR PLAN
SCALE 1:100

* CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & AS/SER/42 - 1989
TIMBER FRAMING MANUAL.

* WINDOW CODES DENOTE HEIGHT, WIDTH & 6-12.38 = 1200 HIGH X 1500 WIDE.

* DIMENSIONS TAKE PREFERENCE OVER SCALE. DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

* ALL DIMENSIONS, DETAILS, LEVELS & SETOUT ARE TO BE CONFIRMED PRIOR TO COMMENCING CONSTRUCTION. ANY VARIATIONS NOTIFIED OF ANY DISCREPANCIES OR DIMENSIONS.

* ANY UNRESOLVED ISSUES OR UNCLARIFIED DRAWINGS ARE NOT TRUE REPRESENTATIONS OF THE BUILDING. INCL IN THE CONTRACT, REFER TO THE CONTRACT FOR SPECIFICATIONS.

* ALL TIMBER FRAMING TO BE TERNITE TREATED.

* COPYRIGHT 2018 MANCORP QUALITY HOMES- ALL RIGHTS RESERVED.

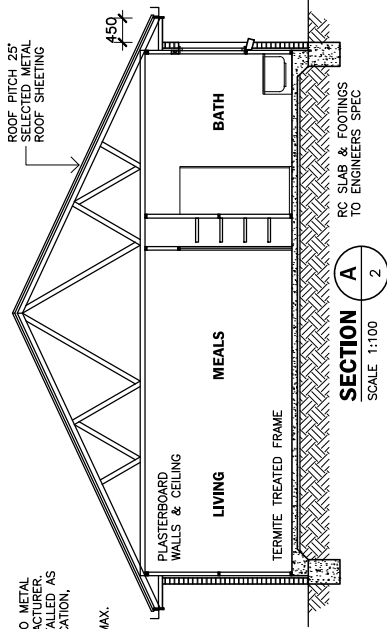
CLIENT: **MANCORP QUALITY HOMES**

PROJECT: **PROPOSED RESIDENCE**

LOCATION: **LOT 4923
WHITEHAVEN ROAD
NEWPORT
STAGE D49**

WORKING DRAWING

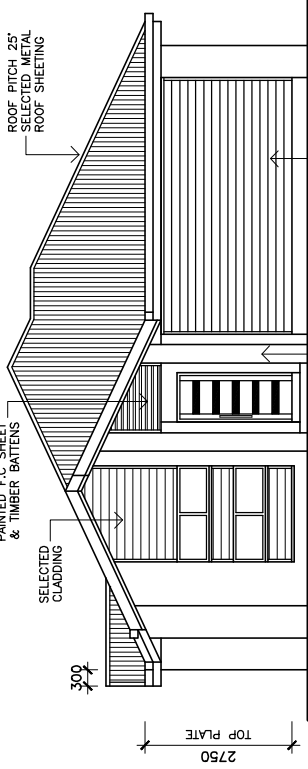
REV	DATE	DESCRIPTION
A	14/11/18	DRAWING ISSUE
B	08/07/19	STREET NAME
REF:	N/A	CHECKED:
DRAWN:	LCA	
JOB No.		
SHEET SIZE:	A3	
SCALE:	AS SHOWN	
SHEET No.		



SECTION A
SCALE 1:100

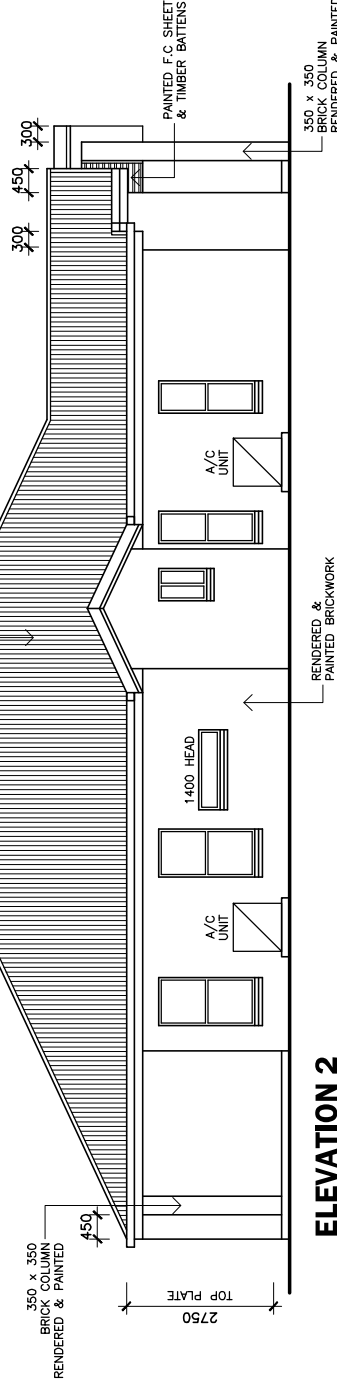
NOTE: SELECTED ROOF SHEETING FIXED TO METAL BATTENS SUPPLIED BY THE MANUFACTURER. ROOF SHEETING AND BATTENS INSTALLED AS PER MANUFACTURERS SPECIFICATION, SUITABLE FOR NS AREA.

ROOF TRUSSES AT 600 CENTRES MAX.



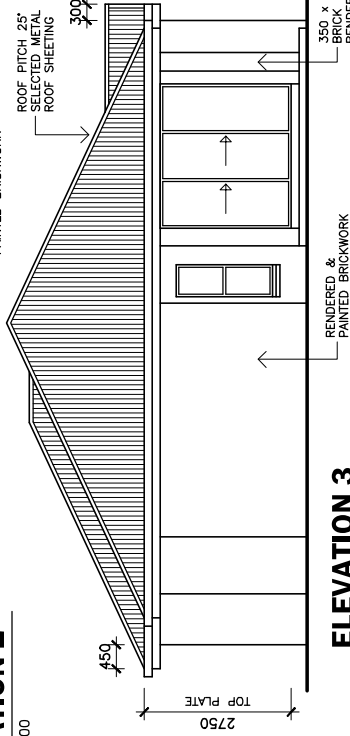
ELEVATION 1
SCALE 1:100

ROOF PITCH 25° SELECTED METAL ROOF SHEETING



ELEVATION 2
SCALE 1:100

WARNING
SUB SURFACE ELECTRICAL LAYOUT IN METERBOX.
NO WORK TO COMMENCE UNTIL LAYOUT CONFIRMED.
APPROVED HAND TOOLS ONLY IN THIS AREA. SAFETY FIRST.

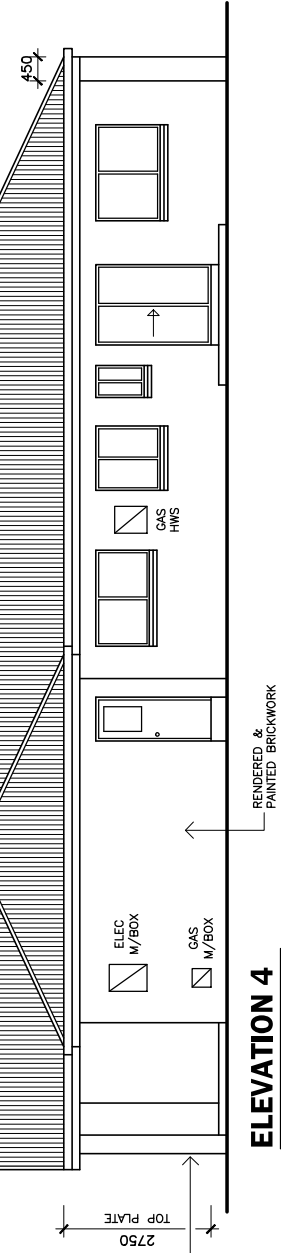


ELEVATION 3
SCALE 1:100

ROOF PITCH 25° SELECTED METAL ROOF SHEETING

ROOF PITCH 25° SELECTED METAL ROOF SHEETING

ROOF PITCH 25° SELECTED METAL ROOF SHEETING



ELEVATION 4
SCALE 1:100

350 x 350 BRICK COLUMN RENDERED & PAINTED

ROOF PITCH 25° SELECTED METAL ROOF SHEETING

ROOF PITCH 25° SELECTED METAL ROOF SHEETING

ROOF PITCH 25° SELECTED METAL ROOF SHEETING