



REAL PROPERTY DESCRIPTION:
 LOT NO. 5006 SP301435
 PARISH REDCLIFFE
 COUNTY STANLEY
 AREA 350sq.m.

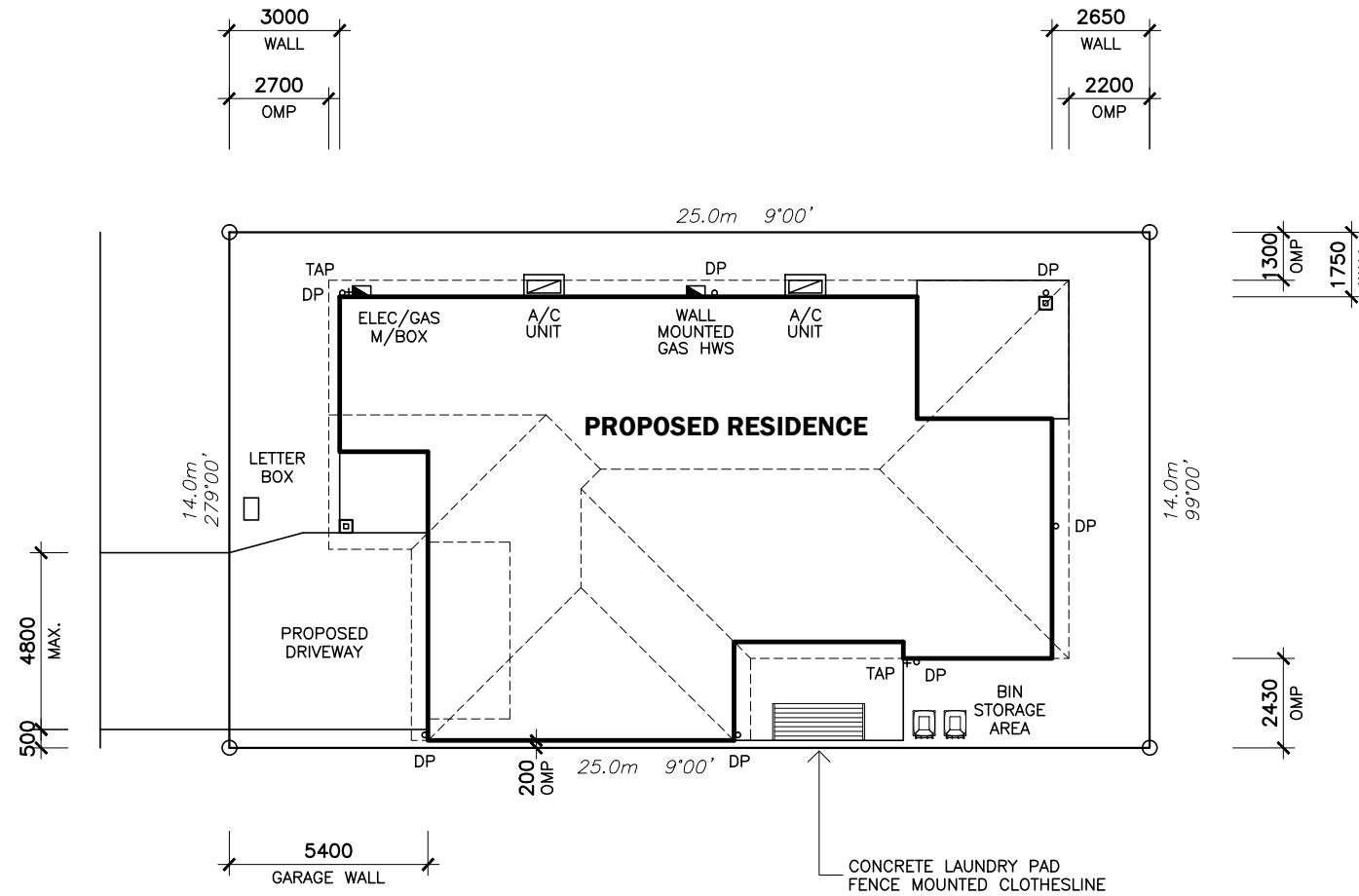


SUITE 1/9 EAST STREET
 P.O. BOX 1305
 CABOOLTURE QLD 4510
 OFFICE: 07 5495 2011
 FAX: 07 5495 2677
 ACN: 065 955 179

FLOOR AREAS:
 LIVING 180.9sq.m.
 PORCH 5.3sq.m.
 ALFRESCO 12.1sq.m.
 TOTAL BUILD 198.3sq.m.
 AREA OF SITE 350sq.m.
 SITE COVER 56.66%

- CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & AS1684.2 - 1999 TIMBER FRAMING MANUAL.
- WINDOW CODES DENOTE HEIGHT x WIDTH e.g. 12.18 = 1200 HIGH x 1800 WIDE.
- DIMENSIONS TAKE PREFERENCE OVER SCALE. DIMENSIONS ARE IN MILLIMETERS U.N.O.
- ALL DIMENSIONS, DETAILS, LEVELS & SETOUT ARE TO BE CONFIRMED PRIOR TO COMMENCING CONSTRUCTION & RESPONSIBLE PERSONS NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS.
- DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TRUE REPRESENTATIONS OF THE ITEMS INCLUDED IN THE CONTRACT. REFER TO THE CONTRACT FOR SPECIFIED ITEMS.
- ALL TIMBER FRAMING TO BE TERMITE TREATED.
- COPYRIGHT MANCORP QUALITY HOMES ALL RIGHTS RESERVED.

NEW ROAD



STORMWATER NOTE:
 ROOF STORMWATER IS TO BE CONTROLLED ON SITE AND DIRECTED TO KERB AND CHANNEL OR OTHER LEGAL POINT OF DISCHARGE.

WARNING

SUB SURFACE ELECTRICAL LAYOUT IN METERBOX.
 NO WORK TO COMMENCE UNTIL LAYOUT CONFIRMED.
 APPROVED HAND TOOLS ONLY IN THIS AREA. SAFETY FIRST.

- GENERAL SITE NOTES:
1. THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH AS3500 AS2870 AND THE BCA.
 2. ROOF STORMWATER TO BE CONTROLLED ON SITE AND DIRECTED TO KERB AND CHANNEL OR OTHER LEGAL POINT OF DISCHARGE.
 3. ALL STORMWATER LINES TO HAVE 100mm MINIMUM COVER.
 4. DOWNPIPES TO BE Ø90 UPVC.
 5. DOWNPIPES TO BE MAXIMUM 12m LINEAL APART.
 6. SITE WORKS HAVE NOT BEEN ADDRESSED IN THIS PLAN. CUT AND FILL REQUIREMENTS TO BE DETERMINED ON SITE.

SITE PLAN

SCALE 1:200

CLIENT:
MANCORP QUALITY HOMES

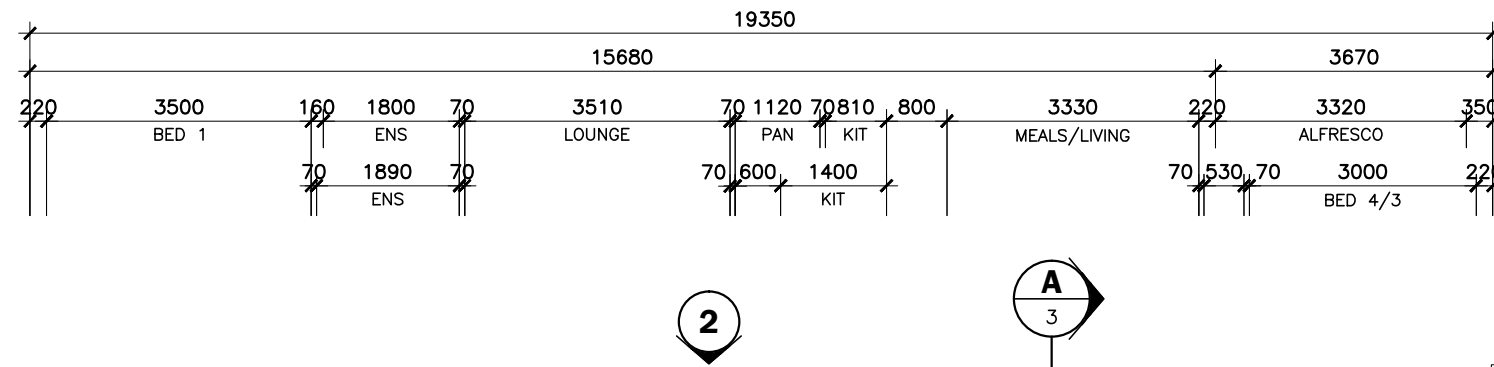
PROJECT:
PROPOSED RESIDENCE

LOCATION:
**LOT 5006
 NEW ROAD
 NEWPORT
 STAGE D50**

PRELIMINARY DRAWING

REV	DATE	DESCRIPTION
A	14/03/19	DRAWING ISSUE

REF: N/A
 DRAWN: LCA CHECKED:
 JOB No.
 SHEET SIZE: A3
 SCALE: AS SHOWN
 SHEET No.

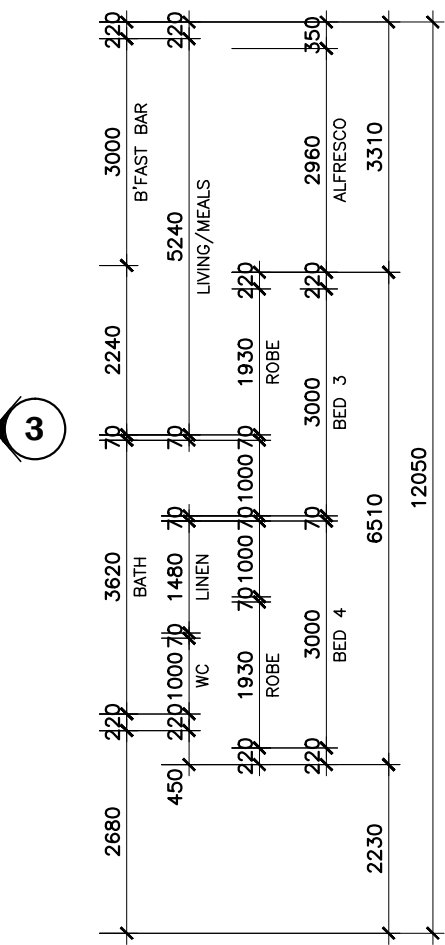
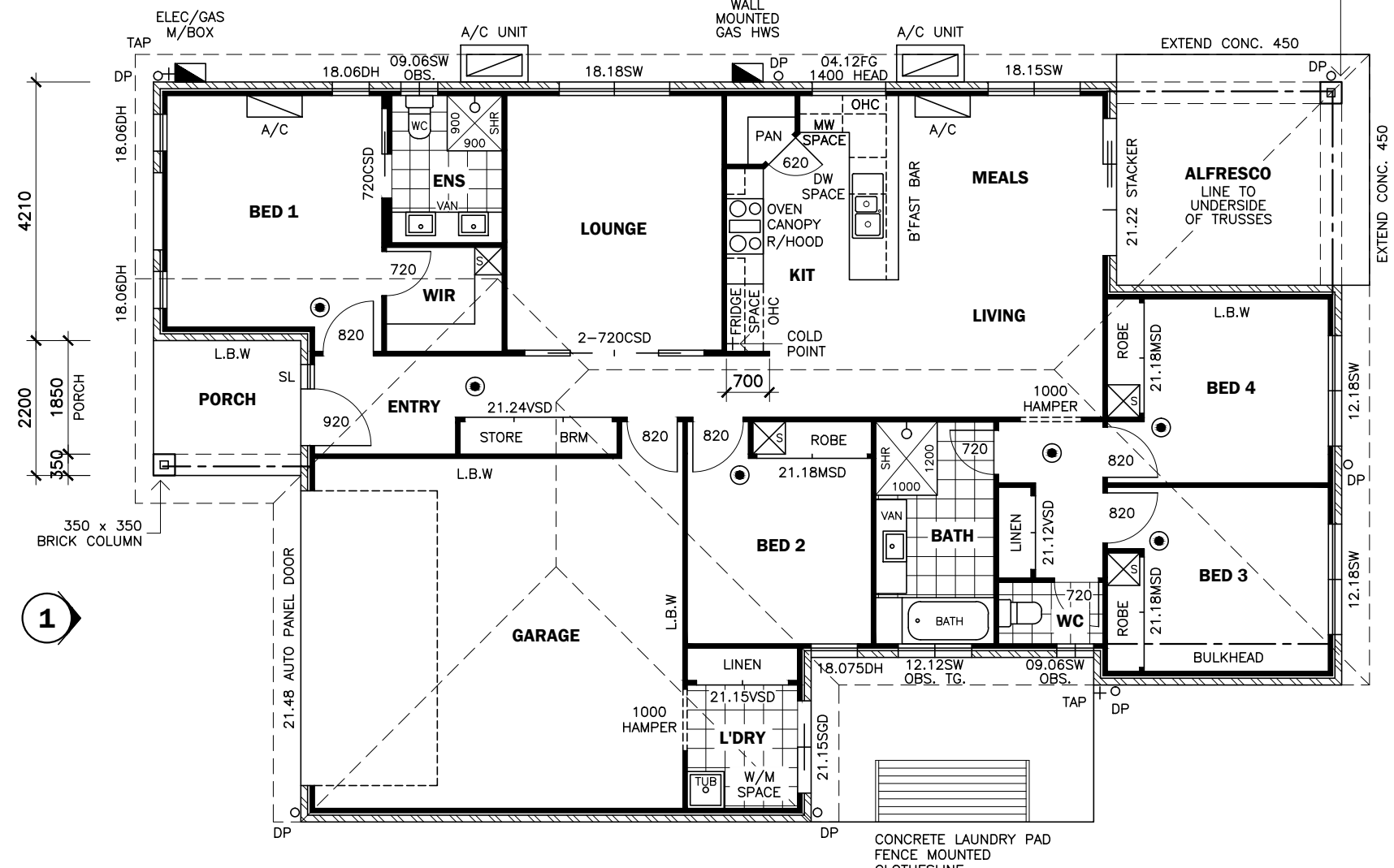
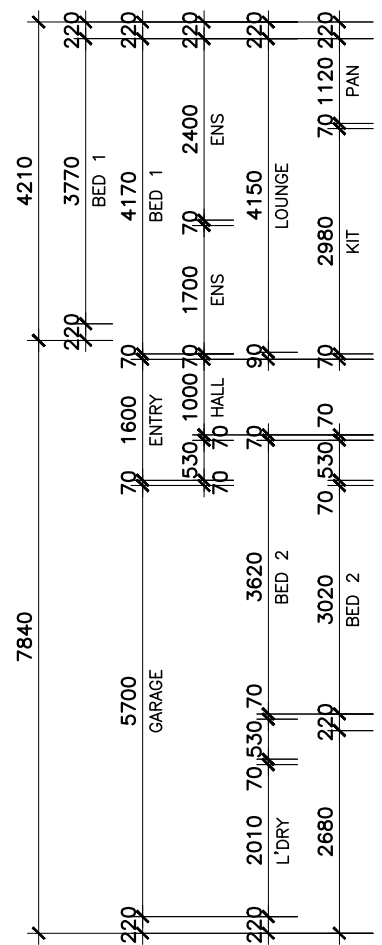


- APPROVED SMOKE DETECTOR INSTALLED AS PER THE BCA PART 3.7.2. LOCATED ON OR NEAR CEILING TO COMPLY WITH AS3786
- SOLID WALLS INDICATE TIMBER CONSTRUCTION
- ▨ HATCHED WALLS INDICATE MASONRY CONSTRUCTION



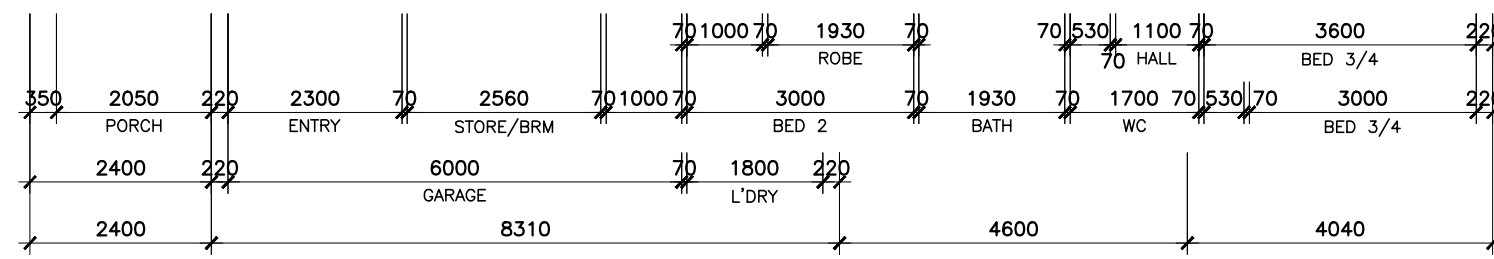
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FLOOR PLAN
SCALE 1:100



FLOOR AREAS:	
LIVING	180.9sq.m.
PORCH	5.3sq.m.
ALFRESCO	12.1sq.m.
TOTAL BUILD	198.3sq.m.
AREA OF SITE	350sq.m.
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PROJECT:
PROPOSED RESIDENCE

LOCATION:
**LOT 5006
NEW ROAD
NEWPORT
STAGE D50**

PRELIMINARY DRAWING

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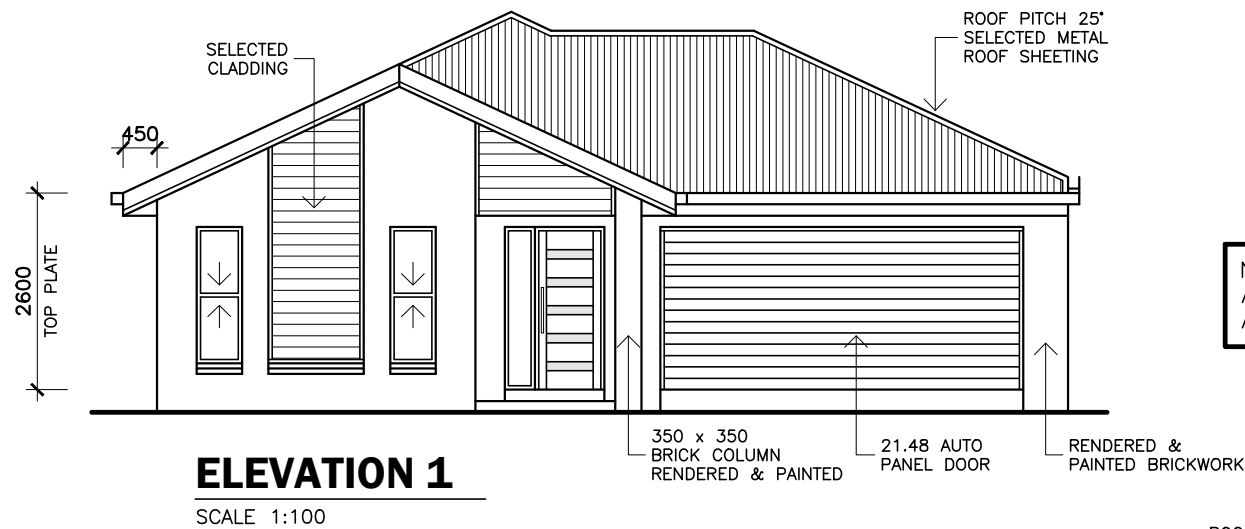
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SCALE: AS SHOWN

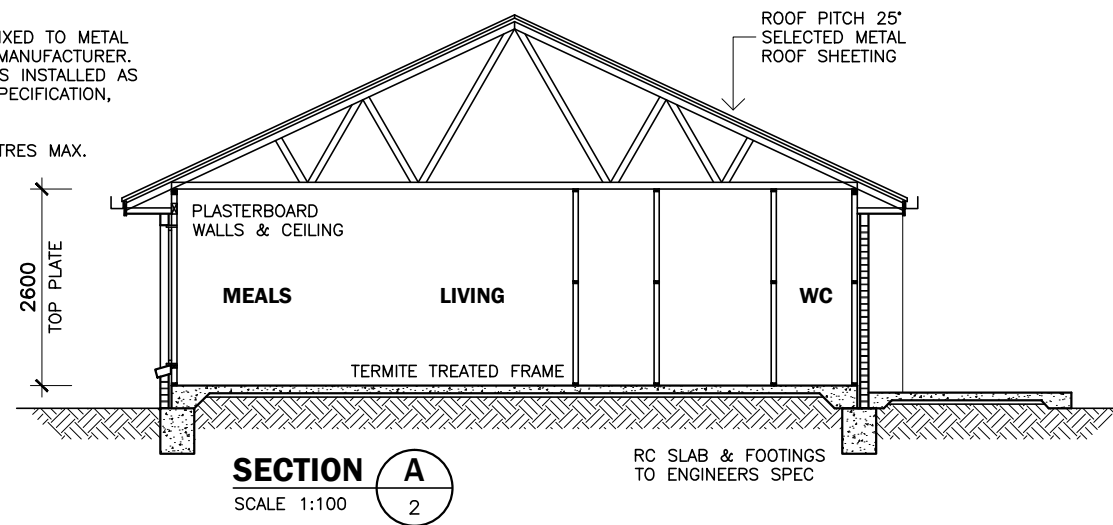
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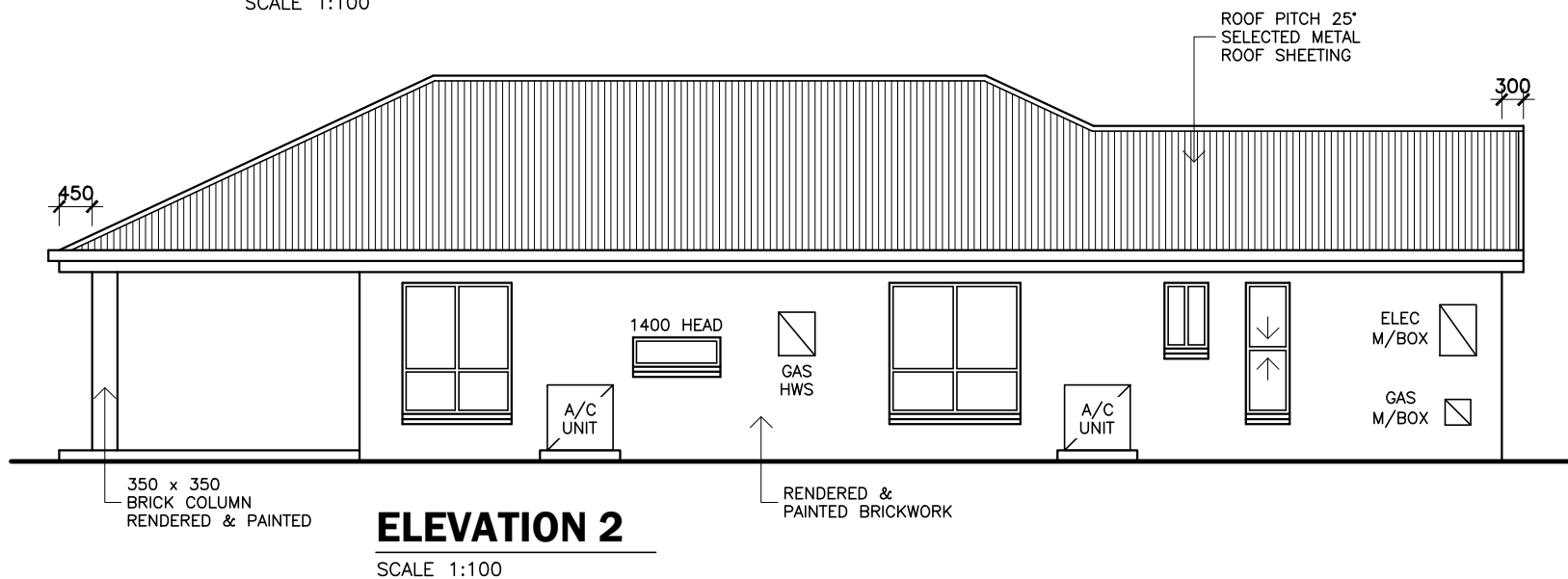
ELEVATION 1
SCALE 1:100

NOTE:
SELECTED ROOF SHEETING FIXED TO METAL BATTENS SUPPLIED BY THE MANUFACTURER. ROOF SHEETING AND BATTENS INSTALLED AS PER THE MANUFACTURERS SPECIFICATION, SUITABLE FOR N3 AREA.
ROOF TRUSSES AT 600 CENTRES MAX.

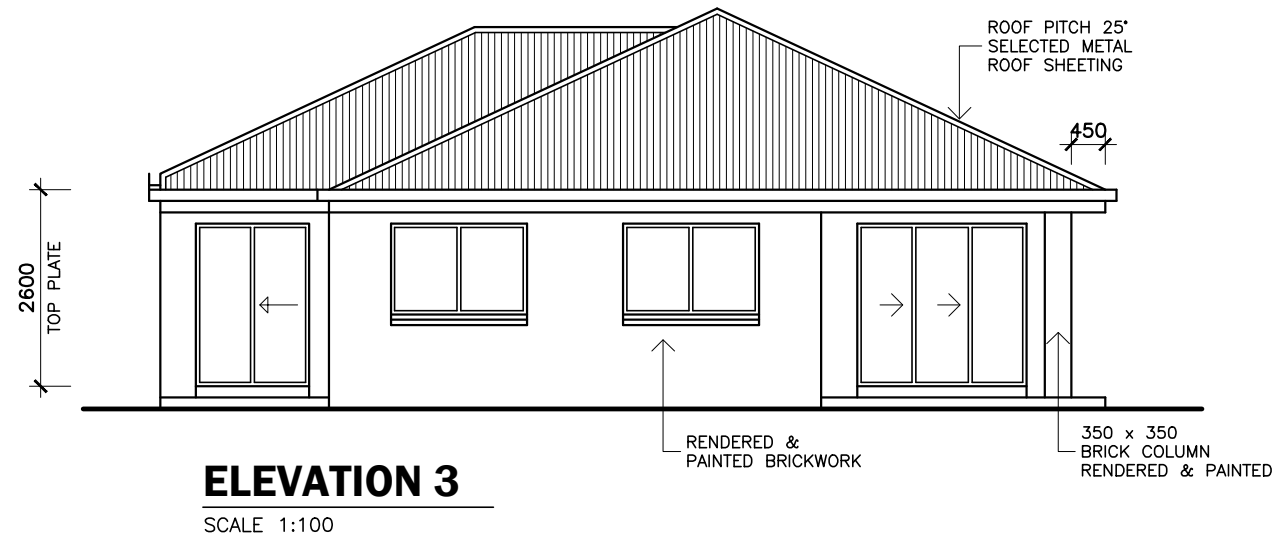
NRG BOARD INFILL ABOVE ALL WINDOWS AND DOORS



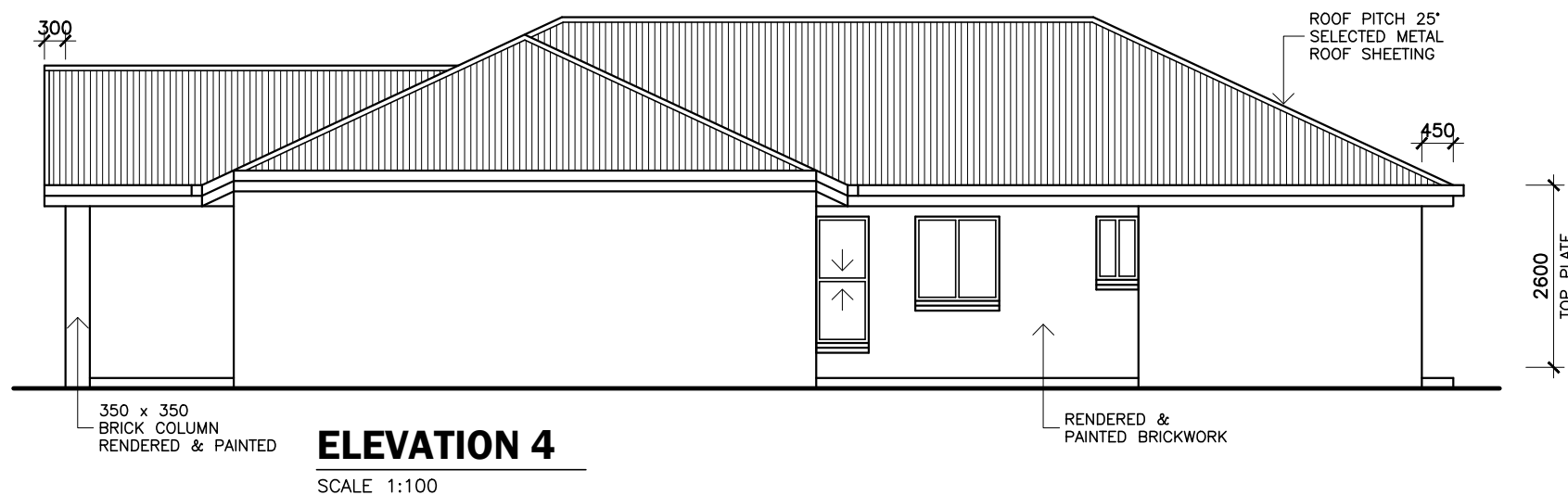
SECTION A
SCALE 1:100



ELEVATION 2
SCALE 1:100



ELEVATION 3
SCALE 1:100



ELEVATION 4
SCALE 1:100

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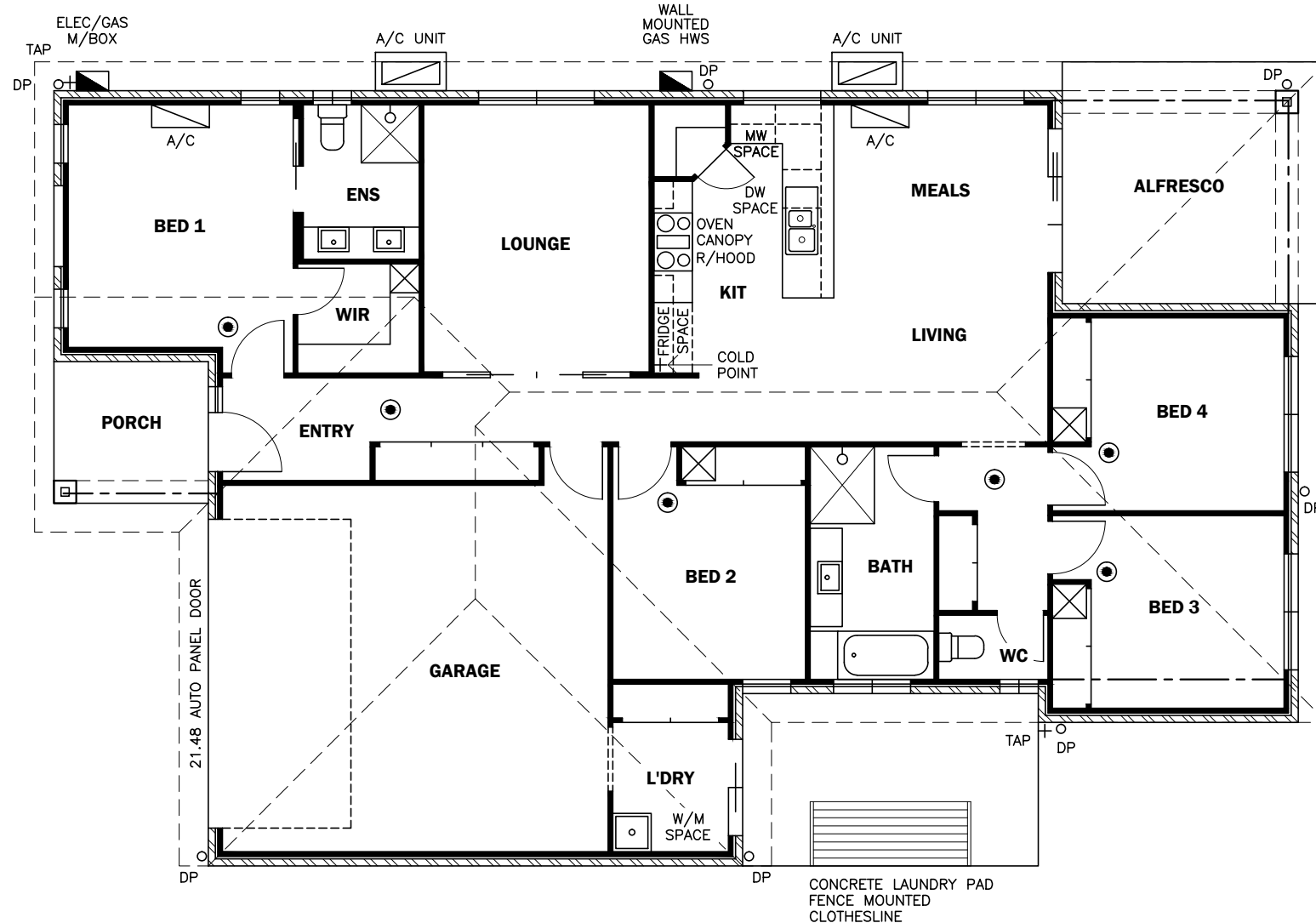
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Add 1

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**PLUMBING &
ELECTRICAL PLAN**

SCALE 1:100

ELECTRICAL LEGEND

- | | | | |
|--|-----------------------------|--|--------------------------|
| | LIGHT POINT | | TEL TELEPHONE OUTLET |
| | FLUORESCENT LIGHT | | WALL MOUNTED LIGHT POINT |
| | SINGLE POWER OUTLET | | DOWN LIGHT |
| | DOUBLE POWER OUTLET | | WATERPROOF FLOOD LIGHT |
| | TV POINT | | METRE BOX |
| | EXHAUST FAN/MECHANICAL VENT | | SMOKE ALARM (AS3786) |
| | CEILING FAN | | |