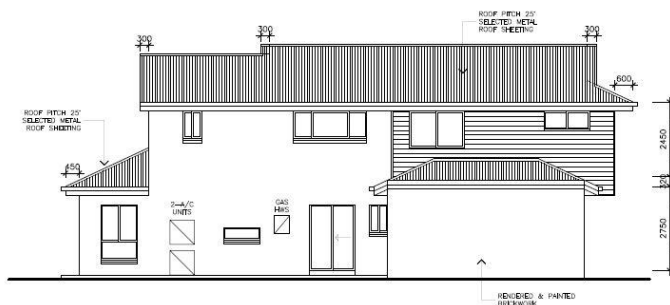


## Lot 1434 Brindabella St Newport



### SPECIAL FEATURES

- 2 Storey Beautiful 4-bedroom residence designed for function and style
- Large Master Bedroom with ensuite, double vanity and walk in robe
- 3 additional double bedrooms with built in sliding mirror door robes
- Centrally located Bathrooms with shower, bath and separate toilet
- Roller blinds to all opening windows & sliding doors. Slimline Venetians to wet areas
- Light and open living and meals area that overlooks the beautiful under roof Alfresco area
- Designer gourmet kitchen with **Caesarstone** bench top inc. stainless steel dishwasher, 900mm free standing oven/gas cooktop and glass canopy range hood
- Separate internal laundry
- 7 TV points + 2 telephone points
- Fully tiled living & wet areas
- Carpeted bedrooms and robes
- Cold water tap to refrigerator in the kitchen
- LED lighting to all internal down lights
- Large Front Entrance Door – Corinthian Windsor Range Door with Translucent Glass
- Ceiling fans (alfresco included)
- Air conditioners 1 x 5.2 & 1 x 2.6 KW Fujitsu to Master bedroom and living room
- Large double garage with remote doors
- Security screens to all windows and doors (Invisguard to front window & entry door)
- Fully rendered and painted with Hardiplank Weatherboard cladding
- Fully insulated Colorbond metal roofing
- Garden Shed
- Wall sarking to all walls
- Fully fenced
- Fully turfed and landscaped - includes Palmetto turf and a 21 day Lawn care package (landscaping includes driveway, path, garden & letterbox rendered with street number)
- Full Termite treatment to frame, trusses, slab & penetrations
- Clothesline
- Double or Single side gate entry where allowable
- Natural Gas – to cooktop & HWS
- Built to cyclone standard (W41 wind rating)
- Large amount of storage area

Purchase Price	\$625,200
Less 10% deposit	\$ 62,520
Less 20% deposit	<u>\$156,300</u>
<b>Borrow – Principal &amp; Interest</b>	<b>\$ 406,380</b>

Standard Variable rate with La Trobe 65% LVR is 5.99% (P&I 20 years)

Contributions per week based on a gross annual income of \$146k and 9.5% superannuation contributions.

Tenant	\$ 570
<b>Tax Refund</b>	<b>\$ 57</b>
<b>Current Employer Super Contribution</b>	<b>\$ 364</b>
<b>Surplus</b>	<b>-\$ 18</b>

DISCLAIMER: The figures presented are estimated only and no representation is given in respect of any profit or gain to be projected.