



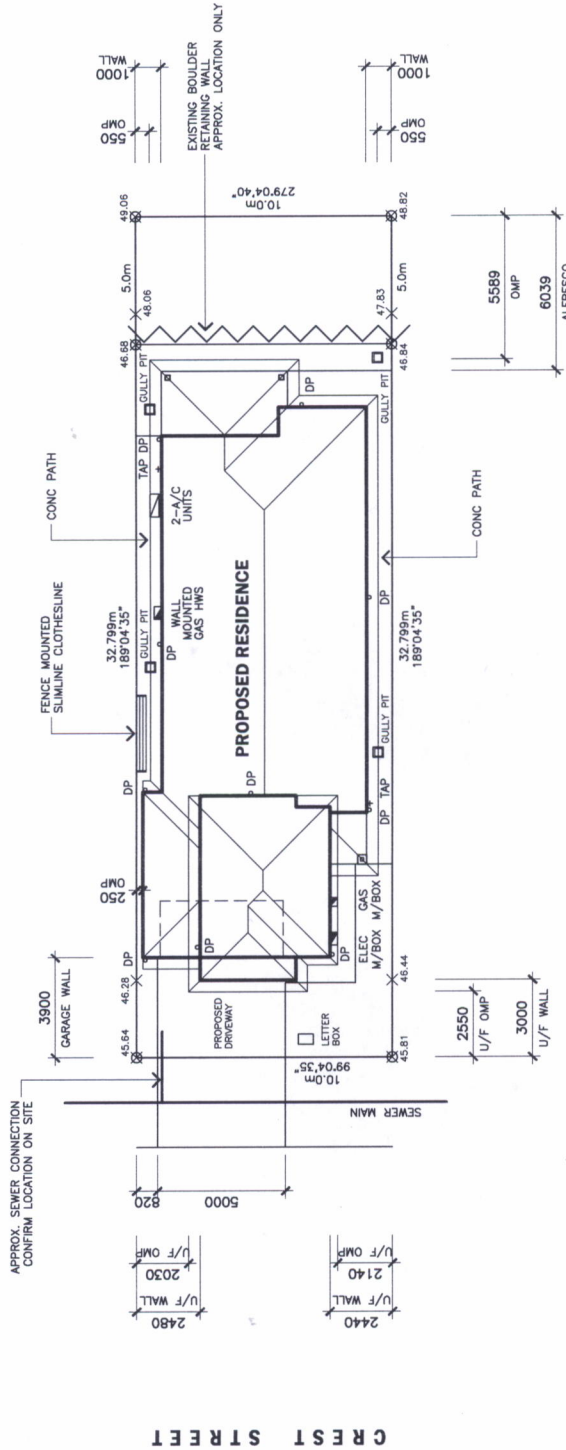
REAL PROPERTY DESCRIPTION:  
 LOT NO. 88 SP292B03  
 PARISH REDCLIFFE  
 COUNTY CANNING  
 AREA 328sq.m.



SUITE 1/9 EAST STREET  
 STANTON ROAD  
 CARBOURNE QLD 4810  
 OFFICE 07 8496 2011  
 07 8496 2022  
 FAX 07 8496 2179

**GULLY PIT NOTE:**  
 NO. AND POSITIONS SHOWN ARE  
 INDICATIVE ONLY. THE APPROPRIATE NO.  
 OF GULLY PITS REQ'D AND THEIR  
 LOCATIONS ARE TO BE DETERMINED ON  
 SITE AT THE CONTRACTORS DISCRETION.

**DRIVEWAY NOTE:**  
 WHERE THERE IS AN EXISTING  
 FOOTPATH THE DRIVEWAY IS TO  
 ABUT & NOT CUT THROUGH  
 THE FOOTPATH



**STORMWATER NOTE:**  
 ROOF STORMWATER IS TO BE  
 CONTROLLED ON SITE AND DIRECTED  
 TO KERB AND CHANNEL OR OTHER  
 LEGAL POINT OF DISCHARGE.

**FLOOR AREAS:**

GROUND FLOOR	163.4sq.m.
LIVING	2.9sq.m.
PORCH	11.9sq.m.
ALFRESCO	178.2sq.m.
TOTAL	
UPPER FLOOR	34.7sq.m.
LIVING	212.9sq.m.
TOTAL BUILD	328sq.m.
AREA OF SITE	328sq.m.
SITE COVER	54.33%

- GENERAL SITE NOTES:**  
 THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH AS3500 AS2870 AND THE BCA.
- ALL STORMWATER LINES TO HAVE 100 MINIMUM COVER.
  - DOWNPIPES TO BE #90 UPVC.
  - DOWNPIPES TO BE MAXIMUM 12m LINEAL APART.
  - SITE WORKS HAVE NOT BEEN ADDRESSED IN THIS PLAN. CUT AND FILL REQUIREMENTS TO BE DETERMINED ON SITE IF REQUIRED.

- CONSTRUCTION TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION MANUAL - TIMBER FRAMING MANUAL.
- MINIMUM CARPET UNDERLAY 1000/1000
- MINIMUM CARPET UNDERLAY 1000/1000
- DIMENSIONS TAKE PREFERENCE OVER SCALE.
- ALL DIMENSIONS, DETAILS, LEVELS & SETOUT ARE TO BE SHOWN AND TO BE CONSIDERED FOR CONSTRUCTION & RESPONSIBLE PERSONS NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS.
- DRAWING SYMBOLS USED ON THIS DRAWING ARE TO BE SHOWN AS PER THE 2021 EDITION OF THE CONTRACT FOR SPECIFIED ITEMS.
- ALL TIMBER FRAMING TO BE TERNITE TREATED.
- CONTRACTOR TO VERIFY ALL MANCOPR QUALITY HOMES - ALL RIGHTS RESERVED.

CREST STREET

CLIENT: **MANCOPR QUALITY HOMES**  
 PROJECT: **PROPOSED RESIDENCE**

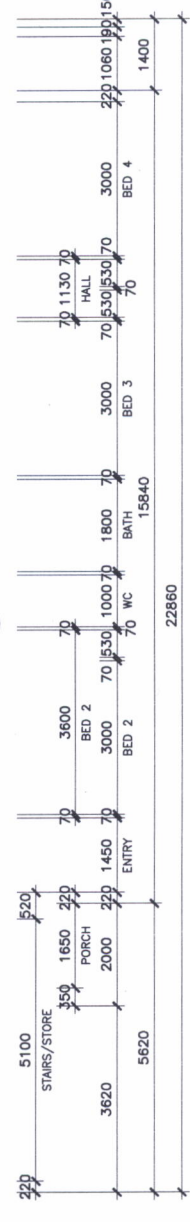
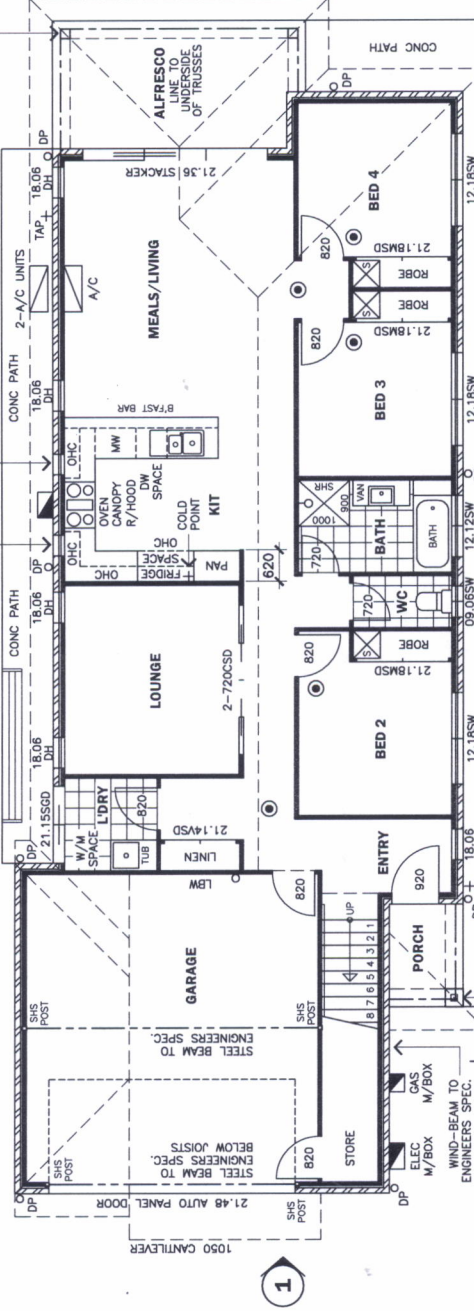
LOCATION: **LOT 88 CREST STREET NARANGBA STAGE 12**

REV	DATE	DESCRIPTION
A	01/03/28	PRELIMINARY DRAWING

REF: N/A  
 DRAWN: LCA  
 CHECKED:  
 JOB No.  
 SHEET SIZE: A3  
 SCALE: AS SHOWN  
 SHEET No. **1 OF 5**



1440	350	1090	220	1100	70	5700	GARAGE
220	350	1650	220	2000	220	1800	L'DRY
220	2540	3000	70	1460	70	1550	HALL
220	2540	3000	70	1000	90	3400	LOUNGE
220	220	220	220	220	220	220	220



# GROUND FLOOR PLAN

SCALE 1:100

- CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & ALL APPLICABLE LOCAL COUNCIL REGULATIONS.
- ALL DIMENSIONS TAKE PREFERENCE OVER SCALE.
- ALL DIMENSIONS DETAILS, LEVELS & FINISHES TO BE CONFIRMED WITH THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION & ANY DISCREPANCIES OR OMISSIONS TO BE CORRECTED IMMEDIATELY.
- DRAWING SYMBOLS LISTED ON THIS DRAWING ARE NOT TO BE USED IN OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
- WINDOW CODES DENOTE HEIGHT x WIDTH
- 4# 12.18 - 1200 HIGH x 1800 WIDE.
- DIMENSIONS TAKE PREFERENCE OVER SCALE.
- COPYRIGHT 2018 MANCORP QUALITY HOMES - ALL RIGHTS RESERVED.



CLIENT: MANCORP QUALITY HOMES  
 PROJECT: PROPOSED RESIDENCE  
 LOCATION: LOT 88 CREST STREET NARANGBA STAGE 12

REV	DATE	DESCRIPTION
A	01/03/18	PRELIMINARY DRAWING

REF: N/A
DRAWN: LCA
CHECKED:
JOB NO.
SCALE: AS SHOWN
SHEET SIZE: A3
SHEET No.
<b>2 OF 5</b>

FLOOR AREAS:	
GROUND FLOOR	163.4sq.m.
LIVING	2.9sq.m.
PORCH	11.9sq.m.
ALFRESCO	178.2sq.m.
TOTAL	34.7sq.m.
UPPER FLOOR	212.9sq.m.
LIVING	328sq.m.
TOTAL BUILD	54.33%
AREA OF SITE	
SITE COVER	

- APPROVED SMOKE DETECTOR INSTALLED AS PER THE BCA PART 3.7.2. LOCATED ON OR NEAR CEILING TO COMPLY WITH AS3786
- SOLID WALLS INDICATE TIMBER CONSTRUCTION
- HATCHED WALLS INDICATE MASONRY CONSTRUCTION



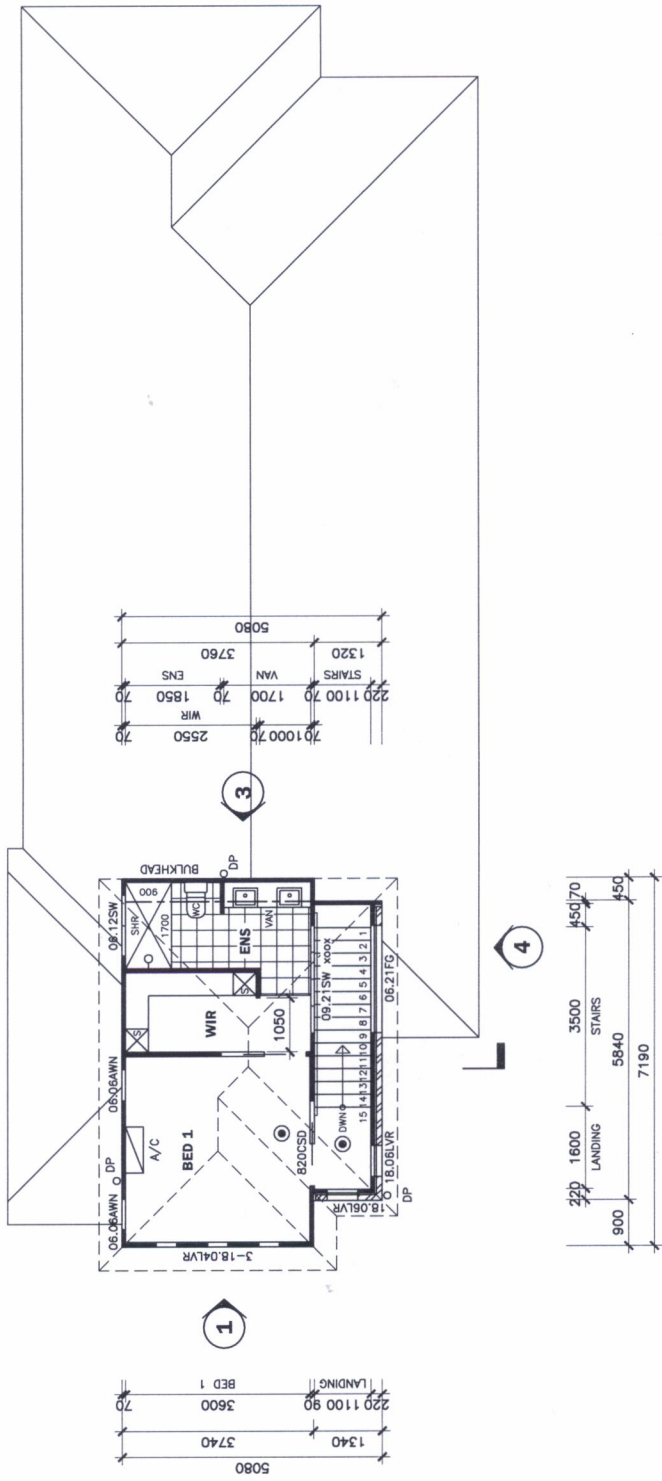
SUITE 1/9 EAST STREET  
CAROLURIE QLD 4510  
OFFICE 07 5498 2011  
FAX 07 5498 2177  
ACN 085 955 177

- \* CONSTRUCTION TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS, 2011 (AS 1884.2 - 1999) TIMBER FRAMING MANUAL.
- \* WINDOW CODES: FINISH: (F), HEIGHT (H), WIDTH (W), 1218 = 1200 HIGH x 800 WIDE.
- \* DIMENSIONS TAKE PREFERENCE OVER SCALE.
- \* ALL DIMENSIONS: DETAILS, LEVELS & SETOUT ARE TO CONSTRUCTION & RESPONSIBLE PERSONS NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS.
- \* DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TO SCALE UNLESS OTHERWISE SPECIFIED AND INCLUDED IN THE CONTRACT. REFER TO THE CONTRACT FOR SPECIFIED ITEMS.
- \* ALL TIMBER FRAMING TO BE TERNITE TREATED.
- \* COPYRIGHT 2018 MANCORP QUALITY HOMES - ALL RIGHTS RESERVED.

APPROVED SMOKE DETECTOR  
INSTALLED AS PER THE BCA PART  
3.7.2. LOCATED ON OR NEAR  
CEILING TO COMPLY WITH AS3786

SOLID WALLS INDICATE  
TIMBER CONSTRUCTION

HATCHED WALLS INDICATE  
MASONRY CONSTRUCTION



FLOOR AREAS:	GROUND FLOOR
LIVING	163.4sq.m.
PORCH	2.9sq.m.
ALFRESCO	11.9sq.m.
TOTAL	178.2sq.m.
UPPER FLOOR	
LIVING	34.7sq.m.
TOTAL BUILD	212.9sq.m.
AREA OF SITE	328sq.m.
SITE COVER	54.33%

CLIENT: **MANCORP QUALITY HOMES**

PROJECT: **PROPOSED RESIDENCE**

LOCATION: **LOT 88  
CREST STREET  
NARANGBA  
STAGE 12**

REV	DATE	DESCRIPTION
A	01/03/18	PRELIMINARY DRAWING

REF: N/A

DRAWN: LCA

CHECKED:

JOB No.

SHEET SIZE: A3

SCALE: AS SHOWN

SHEET No.

3 OF 5

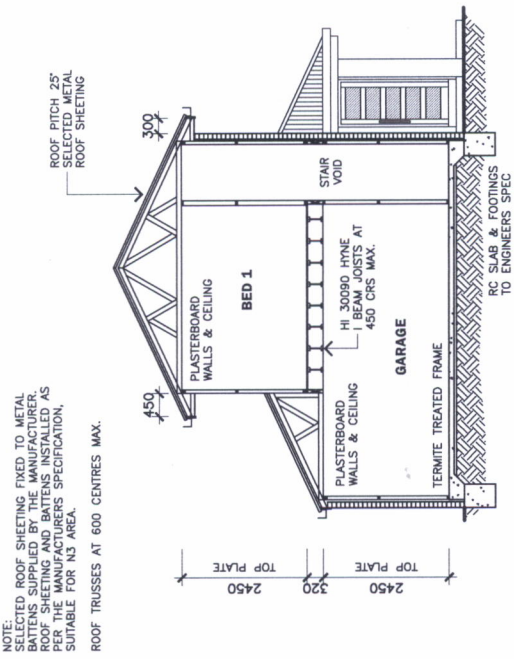
**UPPER FLOOR PLAN**  
SCALE 1:100



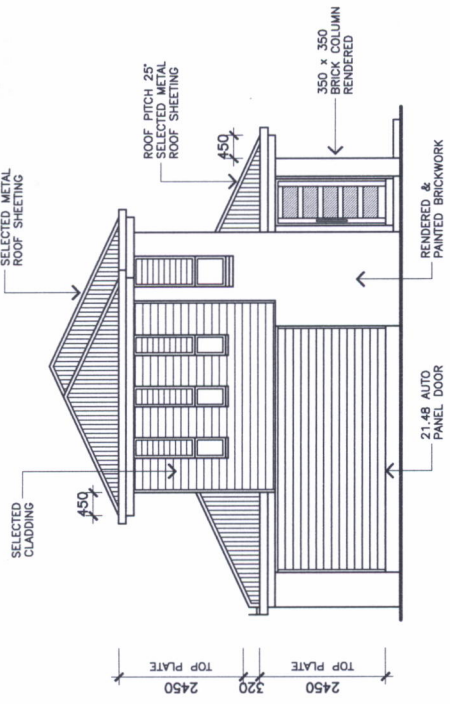
SUITE 1/8 EAST STREET  
 P.O. BOX 1309  
 CANTON, VIC 3100  
 OFFICE OF 8492 2011  
 1800 222 237  
 FAX 03 985 985 277  
 A/CN 035 985 277

- CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & AS1842.2 - 1999
- ALL DIMENSIONS UNLESS OTHERWISE STATED
- DIMENSIONS TAKE PREFERENCE OVER SCALE.
- ALL DIMENSIONS, DETAILS, LEVELS & SETOUT ARE TO BE CHECKED BY THE CLIENT PRIOR TO CONSTRUCTION & RESPONSIBLE PERSONS NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS.
- DRAWING SYMBOLS USED ON THIS DRAWING ARE IN ACCORDANCE WITH THE STANDARDS AND INCLUDES THE REVISIONS OF THE ITEMS INCLUDING THE REVISIONS OF THE ITEMS CONTRACT FOR SPECIFIED ITEMS.
- ALL TIMBER FRAMING TO BE TERMITTE TREATED.
- COPYRIGHT © 2014 MANCORP QUALITY HOMES - ALL RIGHTS RESERVED.

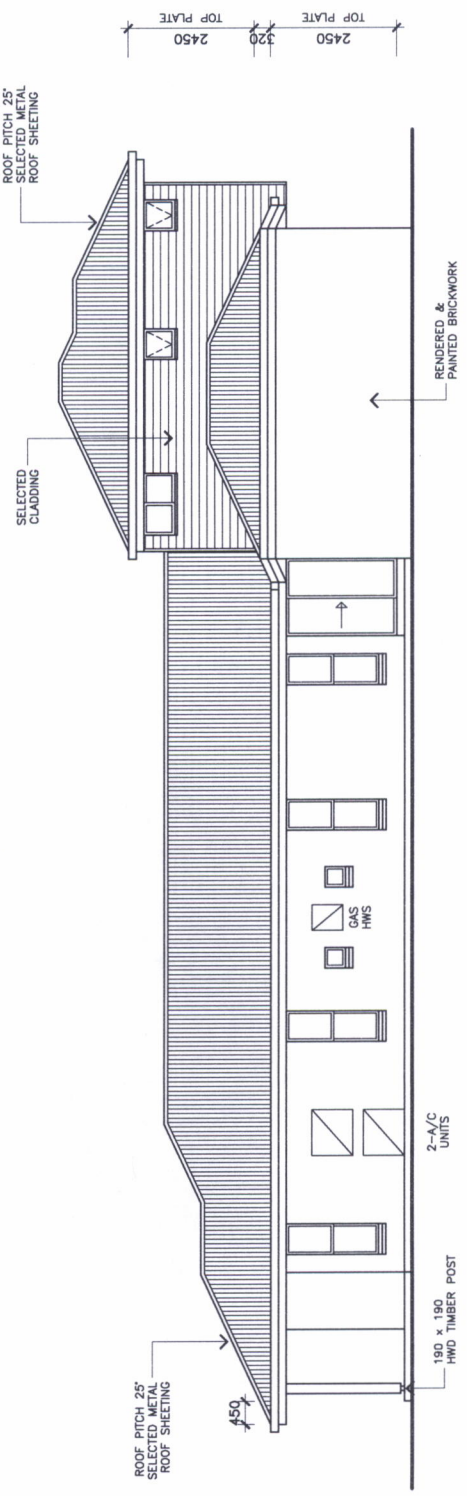
CLIENT:	MANCORP QUALITY HOMES		
PROJECT:	PROPOSED RESIDENCE		
LOCATION:	LOT 88 CREST STREET MARANGBA STAGE 12		
REV	DATE	DESCRIPTION	
A	01/03/18	PRELIMINARY DRAWING	
REF:	N/A		
DRAWN:	LCA	CHECKED:	
JOB No.			
SHEET SIZE:	A3		
SCALE:	AS SHOWN		
SHEET No.	4 OF 5		



**SECTION A**  
 SCALE 1:100



**ELEVATION 1**  
 SCALE 1:100



**ELEVATION 2**  
 SCALE 1:100