



**REAL PROPERTY DESCRIPTION:**  
 LOT NO. 83 SP292603  
 PARISH BURPENGARY  
 COUNTY STANLEY  
 AREA 328sq.m.

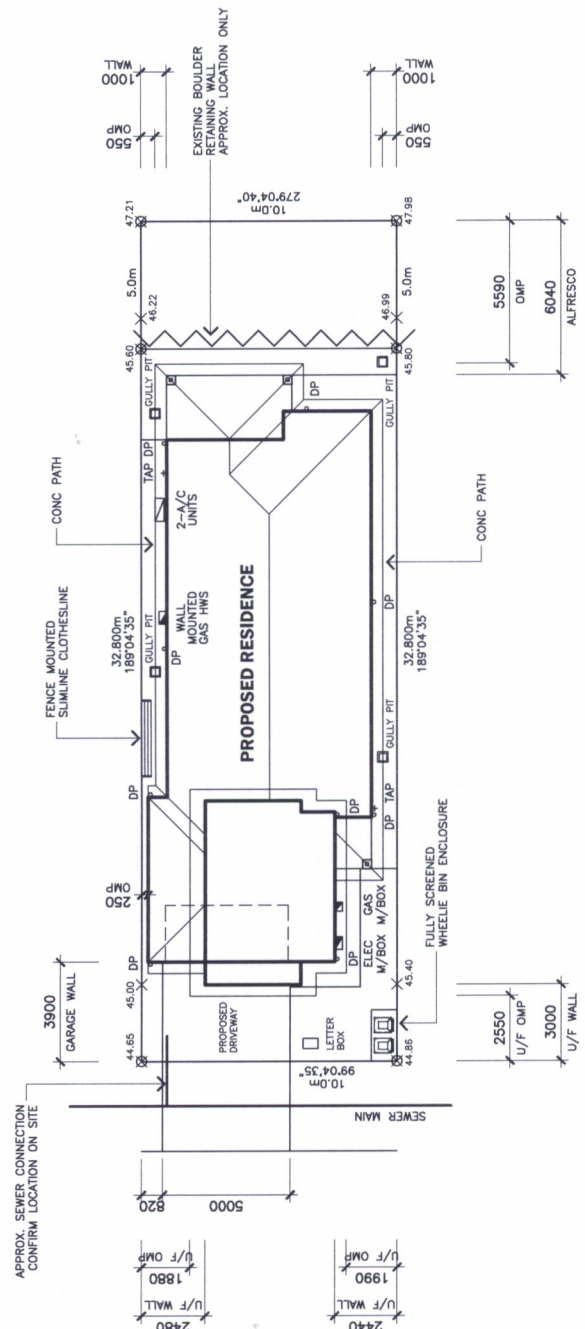


**MANCORP QUALITY HOMES**  
 SUITE 1/8 EAST STREET  
 P.O. BOX 1305  
 WILMINGTON SA 5100  
 CARPHONE 8533 4510  
 OFFICE 07 8492 2011  
 FAX 07 8492 2877  
 AIN 085 893 2178

- \* CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & AS1841.2 - 1999 TIMBER FRAMING MANUAL.
- \* ALL DIMENSIONS, DETAILS, LEVELS & SETOUT ARE TO BE IN ACCORDANCE WITH THE ABOVE MENTIONED CODES OF PRACTICE.
- \* DIMENSIONS TAKE PREFERENCE OVER SCALE.
- \* ALL DIMENSIONS, DETAILS, LEVELS & SETOUT ARE TO BE IN ACCORDANCE WITH THE ABOVE MENTIONED CODES OF PRACTICE.
- \* CONSTRUCTION & RESPONSIBLE PERSONS NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS.
- \* DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TRUE REPRESENTATIONS OF THE ITEMS CONTRACTED FOR SPECIFIED ITEMS.
- \* ALL TIMBER FRAMING TO BE TERNITE TREATED.
- \* CONCRETE FOR MANCORP QUALITY HOMES - ALL RIGHTS RESERVED.

**GULLY PIT NOTE:**  
 NO. AND POSITIONS SHOWN ARE INDICATIVE ONLY. THE APPROPRIATE NO. OF GULLY PITS REQ'D AND THEIR LOCATIONS ARE TO BE DETERMINED ON SITE AT THE CONTRACTORS DISCRETION.

**DRIVEWAY NOTE:**  
 WHERE THERE IS AN EXISTING FOOTPATH THE DRIVEWAY IS TO ABUT & NOT CUT THROUGH THE FOOTPATH



- GENERAL SITE NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH AS3500 AS2870 AND THE BCA.
  2. ALL STORMWATER LINES TO HAVE 100 MINIMUM COVER.
  3. DOWNPIPES TO BE Ø90 UPVC.
  4. DOWNPIPES TO BE MAXIMUM 12m LINEAL APART.
  5. SITE WORKS HAVE NOT BEEN ADDRESSED IN THIS PLAN. CUT AND FILL REQUIREMENTS TO BE DETERMINED ON SITE IF REQUIRED.

FLOOR AREAS:	
GROUND FLOOR	163.4sq.m.
LIVING	2.9sq.m.
PORCH	11.9sq.m.
ALFRESCO	178.2sq.m.
TOTAL	
UPPER FLOOR	34.7sq.m.
LIVING	
TOTAL BUILD	212.9sq.m.
AREA OF SITE	328sq.m.
SITE COVER	54.33%

**STORMWATER NOTE:**  
 ROOF STORMWATER IS TO BE CONTROLLED ON SITE AND DIRECTED TO KERB AND CHANNEL OR OTHER LEGAL POINT OF DISCHARGE.

**WARNING**  
 SUB SURFACE ELECTRICAL LAYOUT IN METERBOX.  
 NO WORK TO COMMENCE UNTIL LAYOUT CONFIRMED.  
 APPROVED HAND TOOLS ONLY IN THIS AREA. SAFETY FIRST.

**SITE PLAN**  
 SCALE 1:200

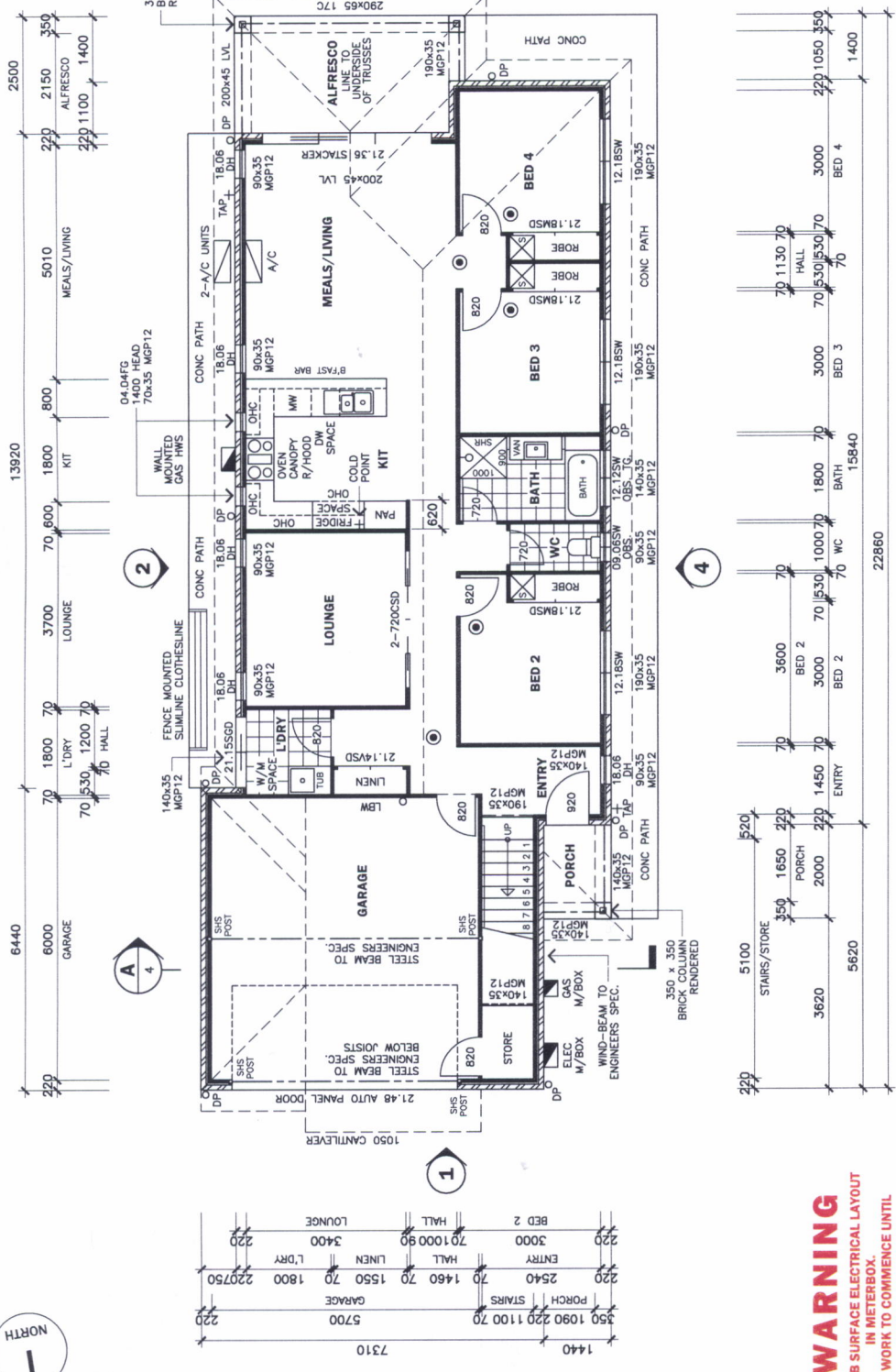
CLIENT:  
**MANCORP QUALITY HOMES**

PROJECT:  
**PROPOSED RESIDENCE**

LOCATION:  
**LOT 83 CREST STREET MARANGBA STAGE 12**

REV	DATE	DESCRIPTION
A	10/04/18	WORKING DRAWING
B	23/04/18	GIMA RPI 20181444

REF: 88NAR  
 DRAWN: LCA  
 CHECKED:  
 JOB No.  
 SHEET SIZE: A3  
 SCALE: AS SHOWN  
 SHEET No. **1 OF 11**



APPROVED SMOKE DETECTOR  
 INSTALLED AS PER THE BCA PART  
 3.7.2. LOCATED ON OR NEAR THE  
 CEILING TO COMPLY WITH AS3786

SOLID WALLS INDICATE  
 TIMBER CONSTRUCTION

HATCHED WALLS INDICATE  
 MASONRY CONSTRUCTION

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**GROUND FLOOR PLAN**  
 SCALE 1:100

- CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & ALL LOCAL COUNCIL REQUIREMENTS. REFER TO THE CONTRACT FOR SPECIFIED ITEMS.
- WINDOW CODES DENOTE HEIGHT x WIDTH
- 4.6 x 2.1.8 = 1400 HIGH x 1800 WIDE.
- DIMENSIONS TAKE PREFERENCE OVER SCALE.
- ALL DIMENSIONS, DETAILS, LEVELS & FINISHES TO BE CONFIRMED WITH THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION & RESPONSIBLE PERSONS NOTIFIED OF ANY DISCREPANCIES ON DIMENSIONS.
- ALL RIGHTS RESERVED.

CLIENT:  
**MANCORP QUALITY HOMES**

PROJECT:  
**PROPOSED RESIDENCE**

LOCATION:  
**LOT 83  
 CREST STREET  
 NARANGBA  
 STAGE 12**

REV	DATE	DESCRIPTION
A	10/04/28	WORKING DRAWING
REF: 88MAR DRAWN: LCA CHECKED: JOB No. SCALE: AS SHOWN SHEET SIZE: A3 SHEET No.		
<b>2 OF 11</b>		

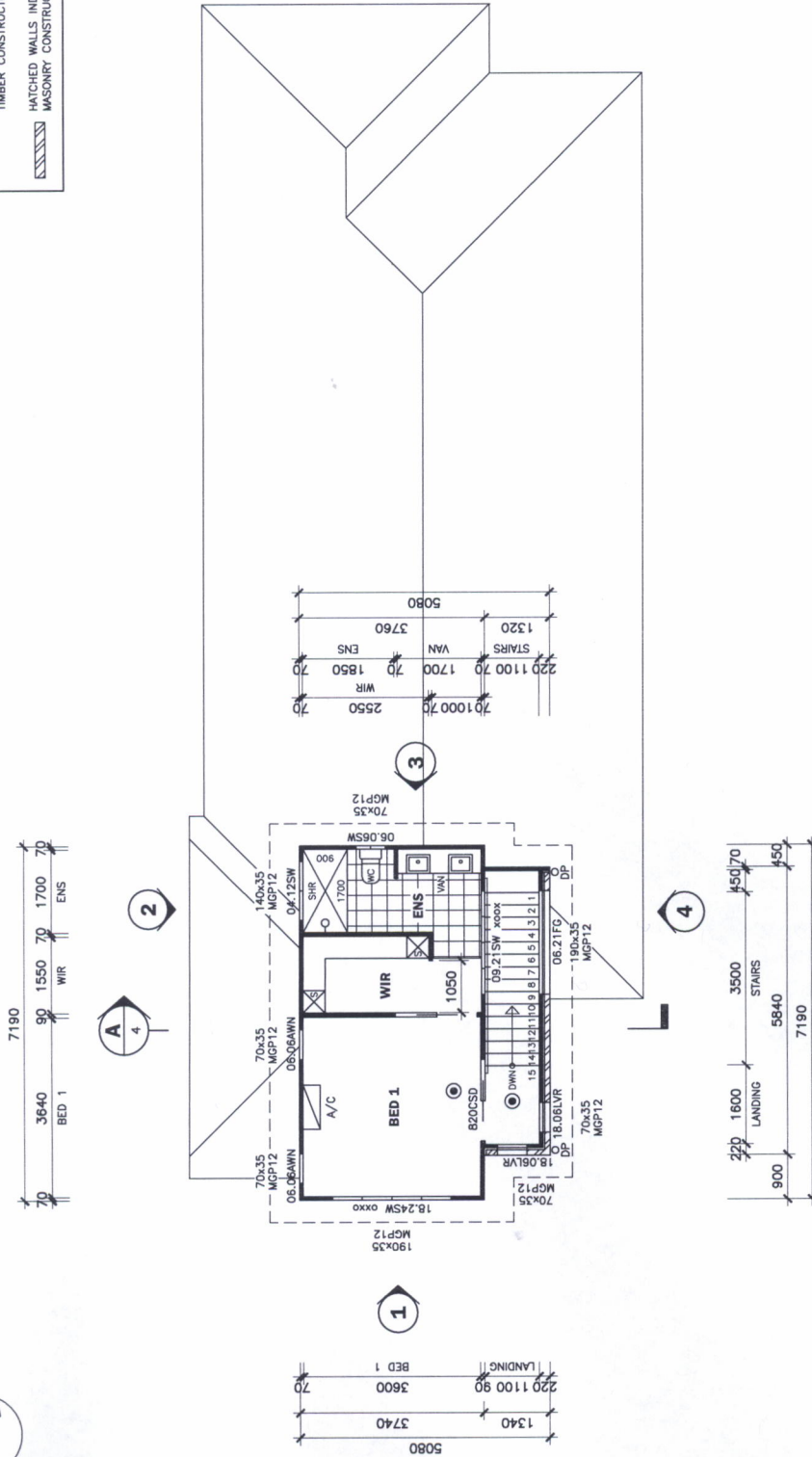




SUITE 1/9 EAST STREET  
P.O. BOX 1309  
CARBONVILLE QLD 4810  
AUSTRALIA  
TEL: 07 5498 2471  
FAX: 07 5498 2471  
ACN: 06 985 179

- \* CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & AS1684.2 - 1999 TIMBER FRAMING MANUAL.
- \* WINDOW CODES DENOTE HEIGHT x WIDTH  
\*E, 12.18 - 1200 HIGH x 1800 WIDE.
- \* DIMENSIONS TAKE PREFERENCE OVER SCALE.
- \* ALL DIMENSIONS, DETAILS, LEVELS & SETOUT ARE TO BE CONFIRMED PRIOR TO COMMENCING WORK. ANY DISCREPANCIES OR DIMENSIONS NOTIFIED IMMEDIATELY TO THE ARCHITECT.
- \* DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TRUE REPRESENTATIONS OF THE ITEMS INCLUDED IN THE CONTRACT. REFER TO THE CONTRACT FOR DETAILED ITEMS.
- \* ALL TIMBER FRAMING TO BE TREATED.
- \* COPYRIGHT 2018 MANCORP QUALITY HOMES - ALL RIGHTS RESERVED.

- APPROVED SMOKE DETECTOR  
INSTALLED AS PER THE BCA PART 3.7.2. LOCATED ON OR NEAR CEILING TO COMPLY WITH AS3786
- SOLID WALLS INDICATE  
TIMBER CONSTRUCTION
- HATCHED WALLS INDICATE  
MASONRY CONSTRUCTION



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**UPPER FLOOR PLAN**  
SCALE 1:100

CLIENT: MANCORP QUALITY HOMES  
PROJECT: PROPOSED RESIDENCE  
LOCATION: LOT 83 CREST STREET NARANGBA STAGE 12  
REV DATE DESCRIPTION  
A 10/04/18 WORKING DRAWING  
B 23/05/18 ENS WINDOWS  
REF: BBNMR  
DRAWN: LCA CHECKED:  
JOB No.  
SHEET SIZE: A3  
SCALE: AS SHOWN  
SHEET No. **3 OF 11**