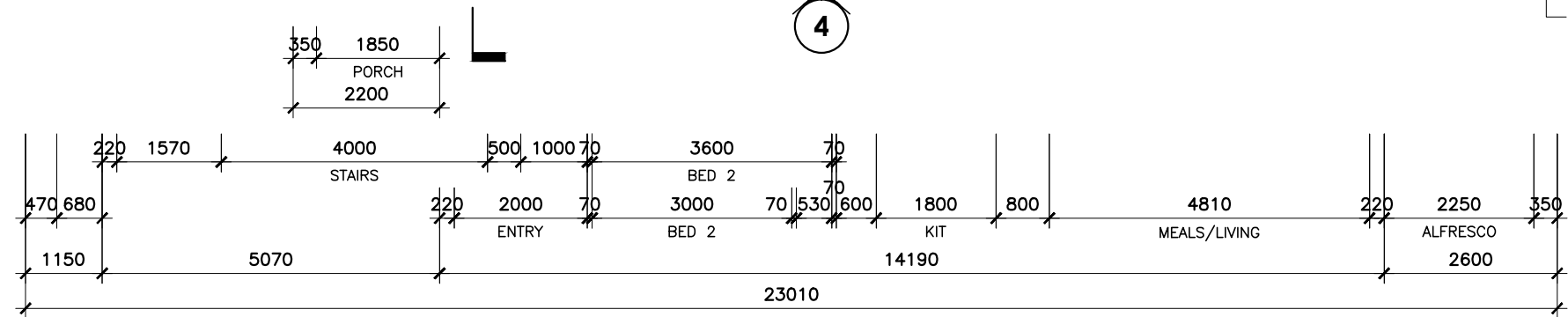
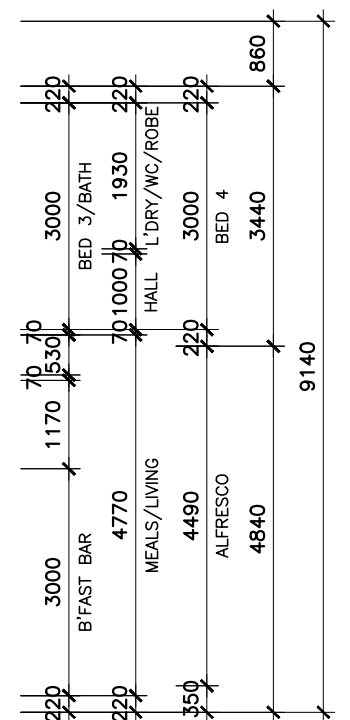
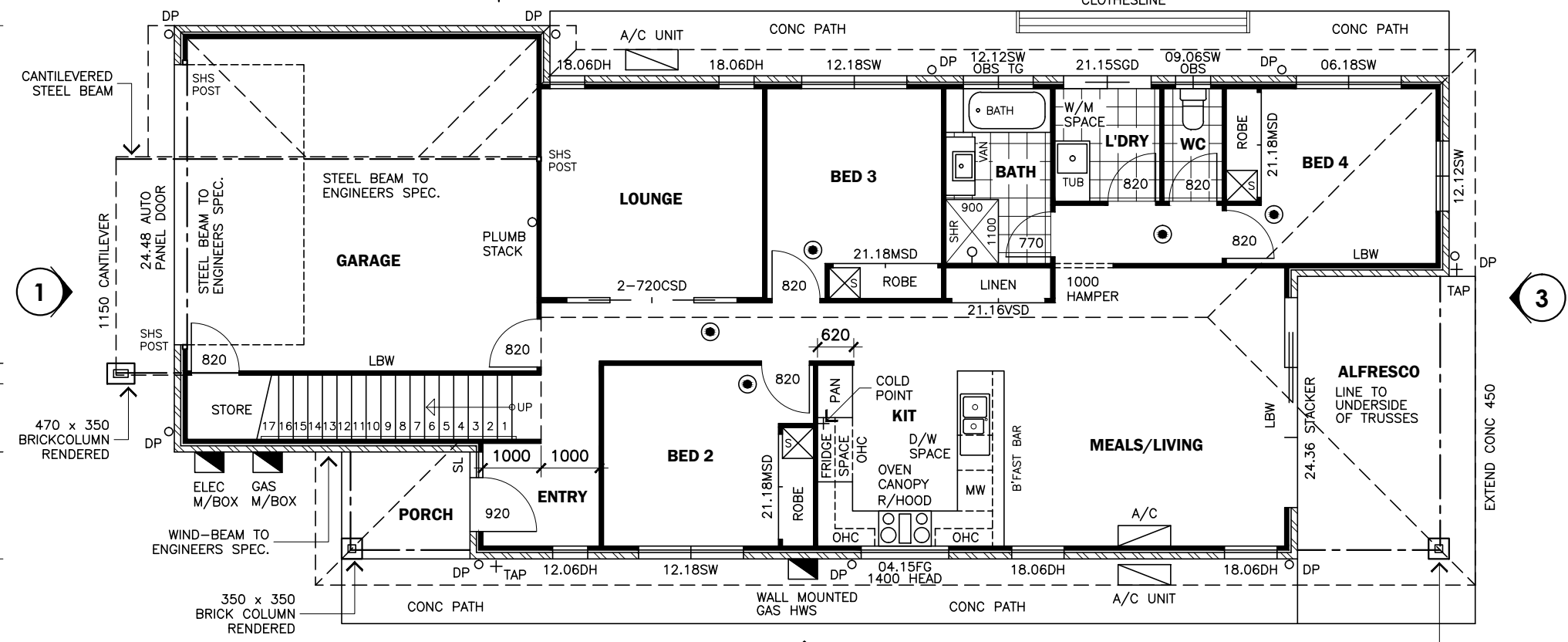
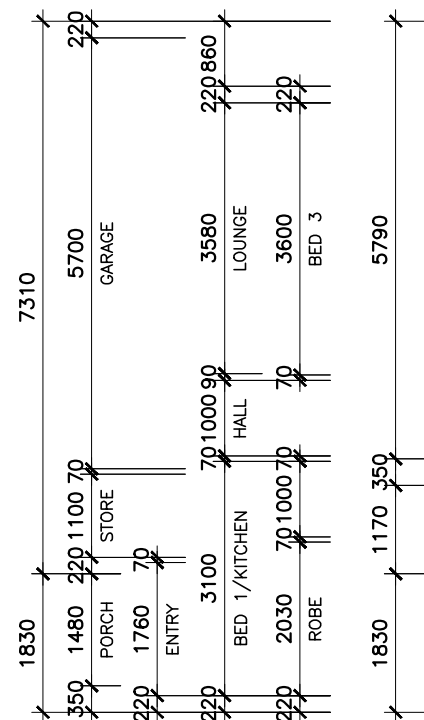


APPROVED SMOKE DETECTOR INSTALLED AS PER THE BCA PART 3.7.2. LOCATED ON OR NEAR CEILING TO COMPLY WITH AS3786
 SOLID WALLS INDICATE TIMBER CONSTRUCTION
 HATCHED WALLS INDICATE MASONRY CONSTRUCTION



FLOOR AREAS:

GROUND FLOOR	
LIVING	164.4sq.m.
PORCH	4.0sq.m.
ALFRESCO	12.9sq.m.
TOTAL	181.3sq.m.
UPPER FLOOR	
LIVING	34.4sq.m.
TOTAL BUILD	215.7sq.m.
AREA OF SITE	336sq.m.
SITE COVER	53.96%

GROUND FLOOR PLAN

SCALE 1:100

NOTE:
 * ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & AS1684.2 - 1999 TIMBER FRAMING MANUAL.
 * WINDOW CODES DENOTE HEIGHT x WIDTH e.g. 12.18 = 1200 HIGH x 1800 WIDE.
 * ALL DIMENSIONS ARE IN MILLIMETERS & ARE TO BE VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS OR MANUFACTURING. DIMENSIONS TAKE PREFERENCE OVER SCALE.
 * ALL DIMENSIONS, DETAILS, LEVELS & SETOUT TO BE CONFIRMED BEFORE COMMENCEMENT OF ANY CONSTRUCTION & RESPONSIBLE PERSONS NOTIFIED OF ANY DISCREPANCIES.

* DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TRUE REPRESENTATIONS OF ITEMS INCLUDED IN CONTRACT. REFER TO CONTRACT FOR SPECIFIED ITEMS.
 * TERMITE TREATED FRAME
 * COPYRIGHT 2017 MANCORP QUALITY HOMES - ALL RIGHTS RESERVED

REV	DATE	DESCRIPTION
A	28/11/17	PRELIMINARY DRAWING

SUITE 1/9 EAST STREET
 P.O. BOX 1305
 CABOOLTURE QLD 4510
 OFFICE: 07 5495 2011
 FAX: 07 5495 2677
 ACN: 065 955 179

CLIENT:
MANCORP QUALITY HOMES

PROJECT:
PROPOSED RESIDENCE

LOCATION:
**LOT 71
 DARWIN CIRCUIT
 NORTH LAKES
 CIRCA STAGE 2**

DRAWN: LCA
DATE: 28/11/17
SCALE: AS SHOWN
CHECKED:
JOB NO.
SHEET NO. 2 OF 5
A3 SHEET SIZE
REF: N/A

