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REAL PROPERTY DESCRIPTION: LOT NO. 71 SP289829 PARISH REDCLIFFE COUNTY STANLEY

AREA 336sq.m.

MANCORP QUALITY HOMES SUITE 1/9 EAST STREET

P.O. BOX 1305 CABOOLTURE QLD 4510 OFFICE: 07 5495 2011 FAX: 07 5495 2677 ACN: 065 955 179

NOTE: \* ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & AS1684.2 - 1999 TIMBER FRAMING MANUAL.

\* WINDOW CODES DENOTE HEIGHT x WIDTH e.g. 12.18 = 1200 HIGH x 1800 WIDE.

\* ALL DIMENSIONS ARE IN MILLIMETERS & ARE TO BE VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS OR MANUFACTURING. DIMENSIONS TAKE PREFERENCE OVER SCALE.

\* ALL DIMENSIONS, DETAILS, LEVELS & SETOUT TO BE CONFIRMED BEFORE COMMENCEMENT OF ANY CONSTRUCTION & RESPONSIBLE PERSONS NOTIFIED OF ANY DISCREPANCIES.

\* DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TRUE REPRESENTATIONS OF ITEMS INCLUDED IN CONTRACT.
REFER TO CONTRACT FOR SPECIFIED ITEMS.

TERMITE TREATED FRAME

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MANCORP QUALITY HOMES

PROPOSED RESIDENCE

DARWIN CIRCUIT NORTH LAKES CIRCA STAGE 2

DRAWN: LCA

DATE: 28/11/17

SCALE: AS SHOWN

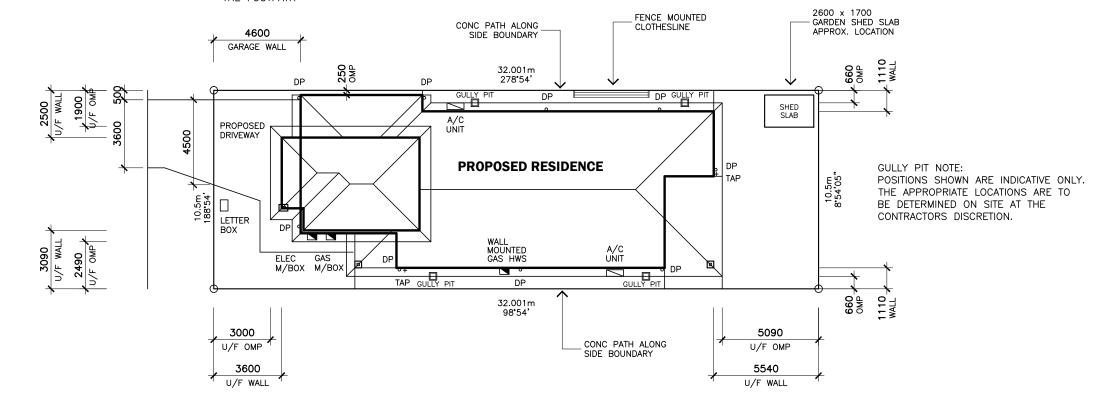
CHECKED:

JOB NO. SHEET NO. 1 OF 5

A3 SHEET SIZE

REF: N/A

DRIVEWAY NOTE: WHERE THERE IS AN EXISTING FOOTPATH THE DRIVEWAY IS TO ABUT & NOT CUT THROUGH THE FOOTPATH



STORMWATER NOTE: ROOF STORMWATER IS TO BE CONTROLLED ON SITE AND DIRECTED TO KERB AND CHANNEL OR OTHER LEGAL POINT OF DISCHARGE.

> GROUND FLOOR LIVING 164.4sq.m. PORCH 4.0sq.m. **ALFRESCO** 12.9sq.m. TOTAL 181.3sq.m. UPPER FLOOR LIVING 34.4sq.m. TOTAL BUILD 215.7sq.m. AREA OF SITE 336sq.m.

> > 53.96%

FLOOR AREAS:

SITE COVER

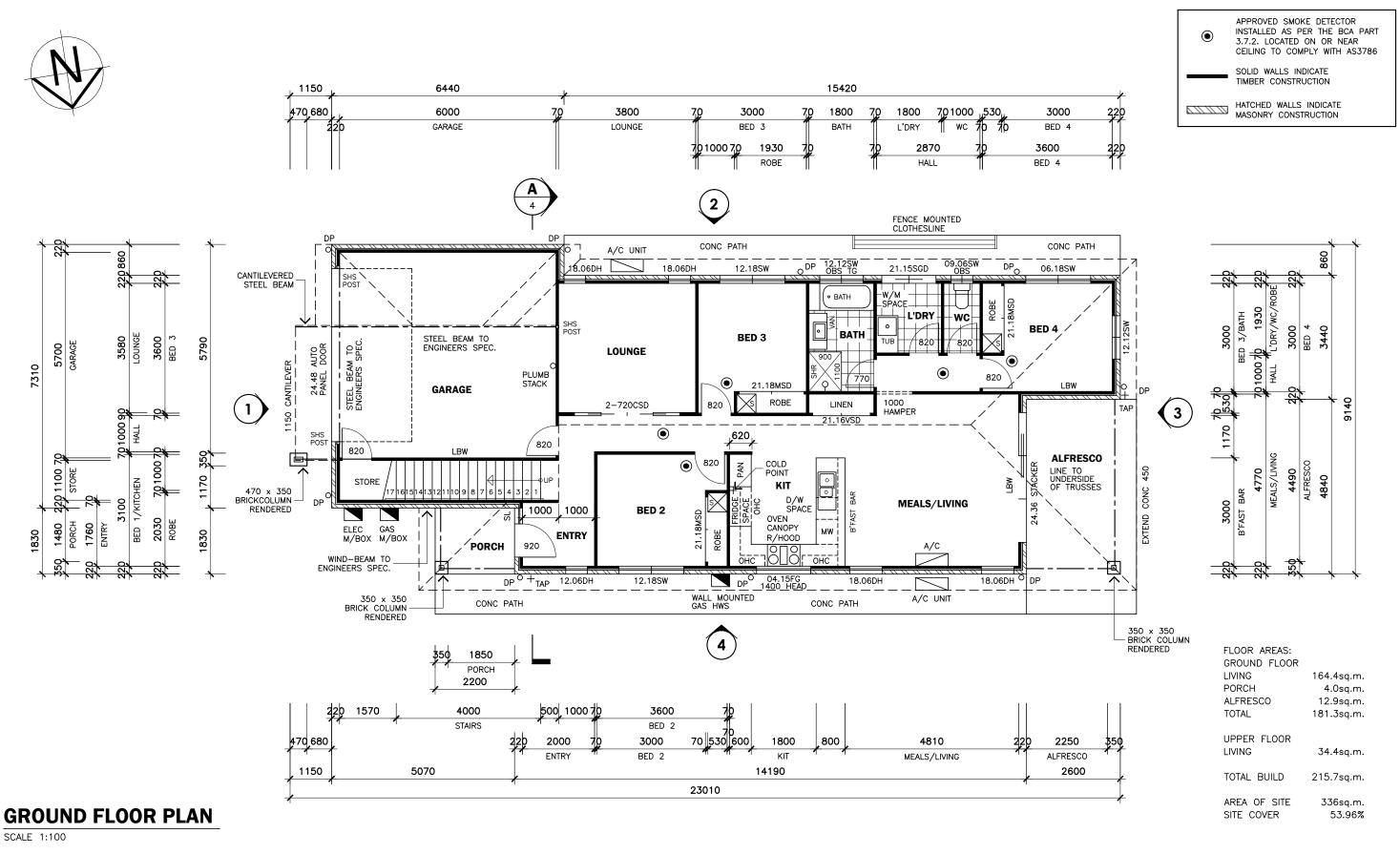
- GENERAL SITE NOTES:

  1. THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH AS3500 AS2870 AND THE BCA.
- 2. ALL STORMWATER LINES TO HAVE 100 MINIMUM COVER.
- 3. DOWNPIPES TO BE Ø90 UPVC.
- 4. DOWNPIPES TO BE MAXIMUM 12m LINEAL APART.
- 5. IF SHOWN LEVELS REFERENCED TO AHD.
- 6. SITE WORKS HAVE NOT BEEN ADDRESSED IN THIS PLAN. CUT AND FILL REQUIREMENTS TO BE DETERMINED ON SITE.

BEARINGS & DISTANCES OF THE SITE ARE FROM A DISCLOSURE PLAN & MAY VARY FROM THE FINAL APPROVED SURVEY PLAN



SCALE 1:200



" ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING
CODE OF AUSTRALIA & AS1684.2 - 1999 TIMBER FRAMING
MANUAL.

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REFER TO CONTRACT FOR SPECIFIED ITEMS.

REV DATE

28/11/17

DESCRIPTION

PRELIMINARY DRAWING

\* TERMITE TREATED FRAME

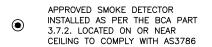
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MANCORP QUALITY HOMES

SUITE 1/9 EAST STREET P.O. BOX 1305 CABOOLTURE QLD 4510 OFFICE: 07 5495 2011 FAX: 07 5495 2677

CLIENT:	DRAWN: LCA		
MANCORP QUALITY HOMES	DATE: 28/11/17		
PROJECT:	SCALE: AS SHOWN		
PROPOSED RESIDENCE	CHECKED:		
LOCATION:	JOB NO.		
LOT 71 DARWIN CIRCUIT	SHEET NO. 2 OF 5		
NORTH LAKES	A3 SHEET SIZE		
CIRCA STAGE 2	DEE: N/A		





SOLID WALLS INDICATE TIMBER CONSTRUCTION

HATCHED WALLS INDICATE MASONRY CONSTRUCTION



P.O. BOX 1305 CABOOLTURE QLD 4510 OFFICE: 07 5495 2011 FAX: 07 5495 2677 ACN: 065 955 179

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\* TERMITE TREATED FRAME

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CLIENT:

MANCORP QUALITY HOMES

PROPOSED RESIDENCE

LOCATION:

LOT 71 **DARWIN CIRCUIT** NORTH LAKES **CIRCA STAGE 2** 

DRAWN: LCA

DATE: 28/11/17

SCALE: AS SHOWN

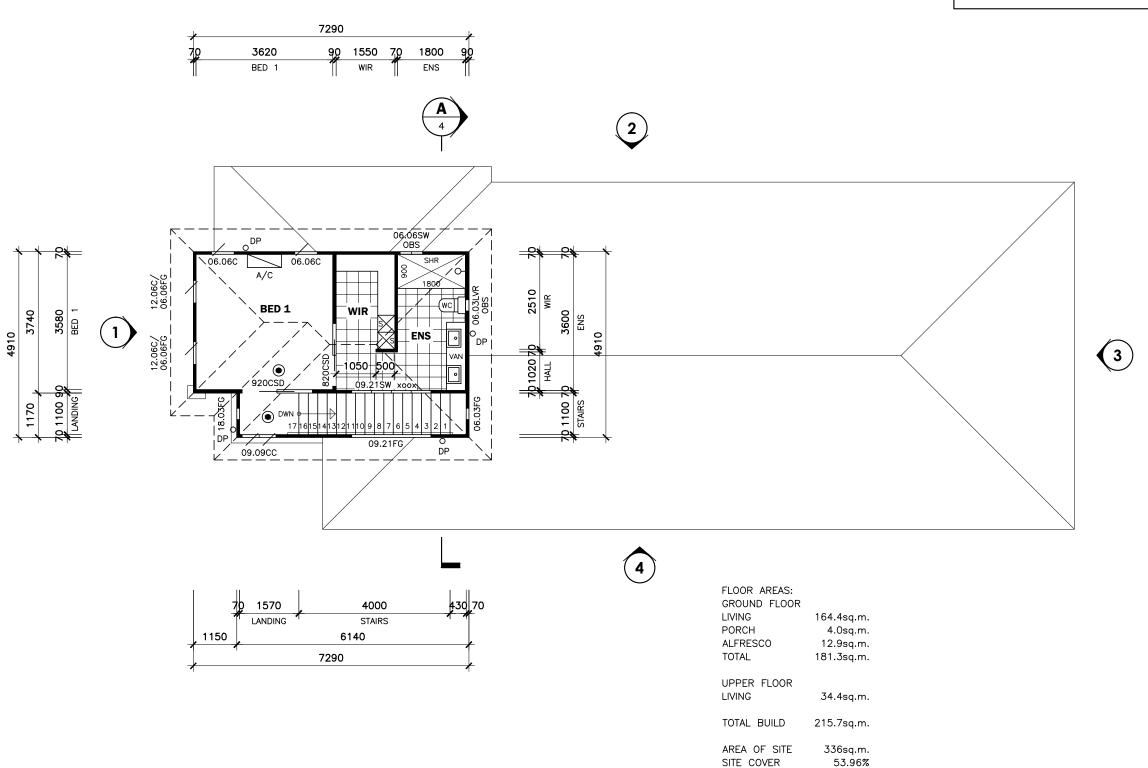
CHECKED: JOB NO.

SHEET NO. 3 OF 5

A3 SHEET SIZE

REF: N/A

DESCRIPTION	PRELIMINARY DRAWING				
REV DATE	28/11/17				
REV	4				



## **UPPER FLOOR PLAN**