

REAL PROPERTY DESCRIPTION
 LOT 48 : SP292601
 PARISH : BURPENGARY
 COUNTY : STANLEY
 AREA : 448sq.m.

MANCORP
 QUALITY HOMES
 SUITE 1/9 EAST STREET
 P.O. BOX 1305
 CABOOLTURE QLD 4510
 OFFICE: 07 5495 2011
 FAX: 07 5495 2677
 ACN: 065 955 179

NOTE:
 WHERE THERE IS AN EXISTING
 FOOTPATH THE DRIVEWAY IS TO
 ABUT & NOT CUT THROUGH
 THE FOOTPATH

FLOOR AREAS	
LIVING	184.4sq.m.
PORCH	5.1sq.m.
ALFRESCO	13.3sq.m.
TOTAL BUILD	202.8sq.m.
AREA OF SITE	448sq.m.
SITE COVER	45.27%

NOTE:
 * ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & AS1684.2 - 1999 TIMBER FRAMING MANUAL.
 * WINDOW CODES DENOTE HEIGHT x WIDTH e.g. 12.18 = 1200 HIGH x 1800 WIDE.
 * ALL DIMENSIONS ARE IN MILLIMETERS & ARE TO BE VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS OR MANUFACTURING. DIMENSIONS TAKE PREFERENCE OVER SCALE.
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 * TERMITE TREATED FRAME
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CLIENT:
MANCORP QUALITY HOMES

PROJECT:
PROPOSED RESIDENCE

LOCATION:
**LOT 48
 CREST STREET
 STONE RIDGE
 NARANGBA**

DRAWN: LCA

DATE: 18/08/17

SCALE: AS SHOWN

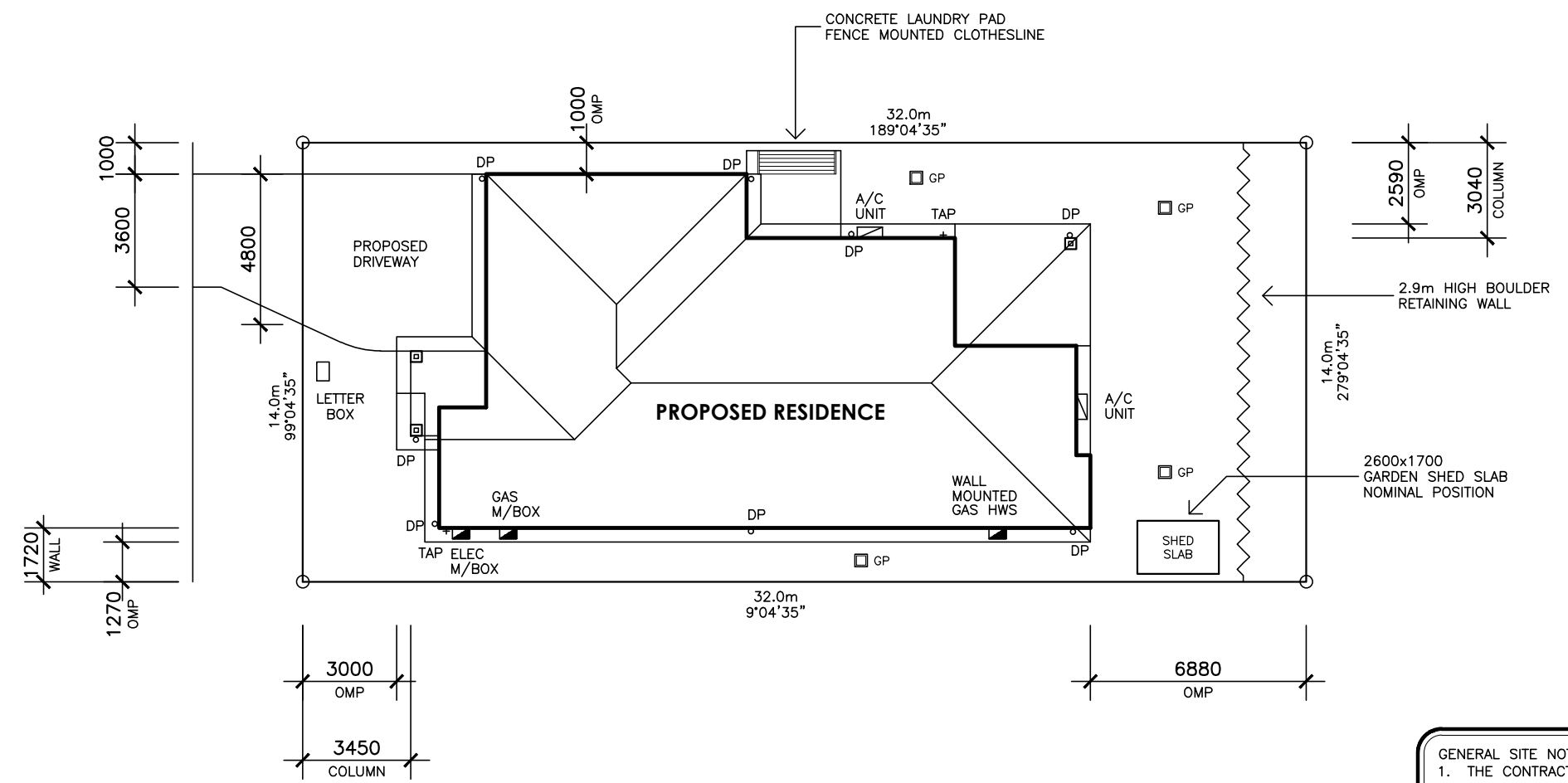
CHECKED:

JOB NO.

SHEET NO. 1 OF 3

A3 SHEET SIZE

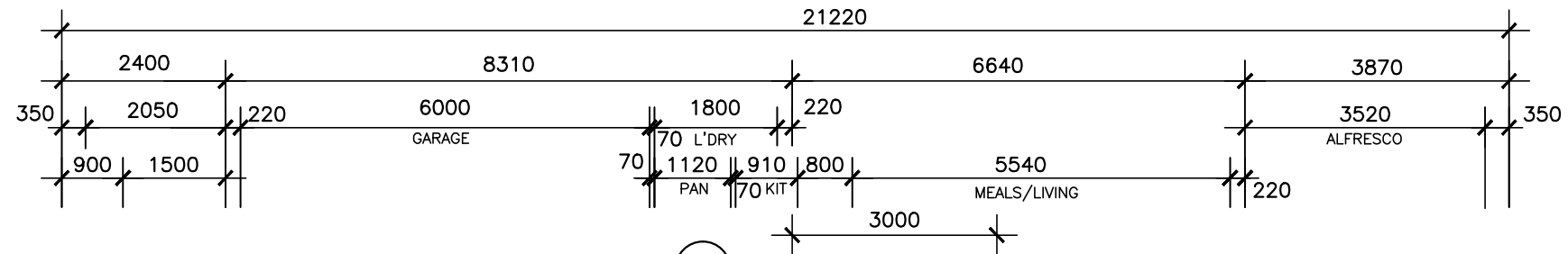
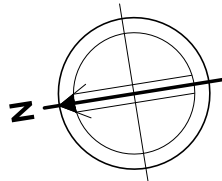
REV	DATE	DESCRIPTION
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GENERAL SITE NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH AS3500 AS2870 AND THE BCA.
 2. CONNECT STORMWATER SYSTEM TO LEGAL POINT OF DISCHARGE.
 3. ALL STORMWATER LINES TO HAVE 100 MINIMUM COVER.
 4. DOWNPIPES TO BE ø90 UPVC.
 5. DOWNPIPES TO BE MAXIMUM 12m LINEAL APART.
 6. STORMWATER LINES & DOWNPIPES SHOWN ARE INDICATIVE ONLY.
 7. IF SHOWN LEVELS REFERENCED TO AHD.
 8. SITE WORKS HAVE NOT BEEN ADDRESSED IN THIS PLAN. CUT AND FILL REQUIREMENTS TO BE DETERMINED ON SITE.

DISCLAIMER:
 BEARINGS & DISTANCES OF THE SITE ARE FROM A DISCLOSURE PLAN & MAY VARY FROM THE FINAL APPROVED SURVEY PLAN

SITE PLAN
 SCALE 1:200

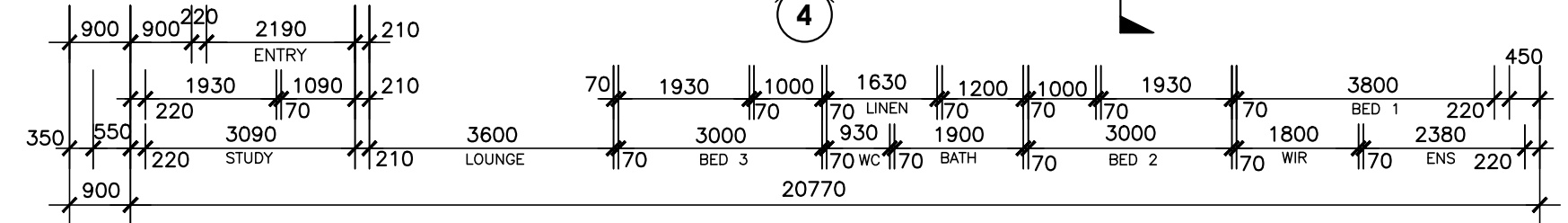
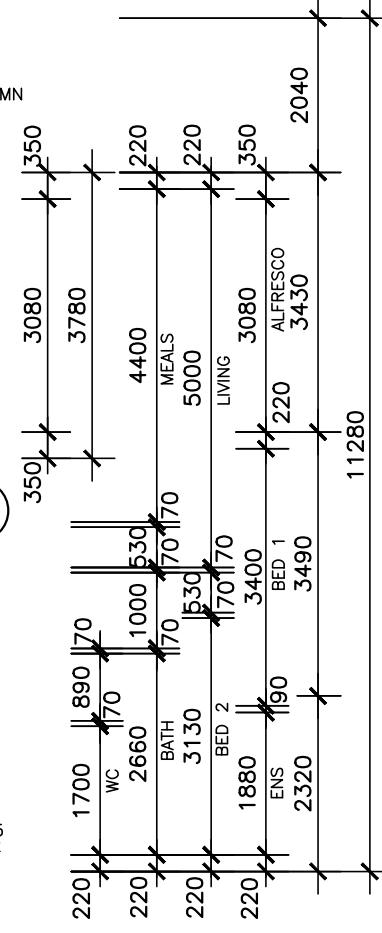
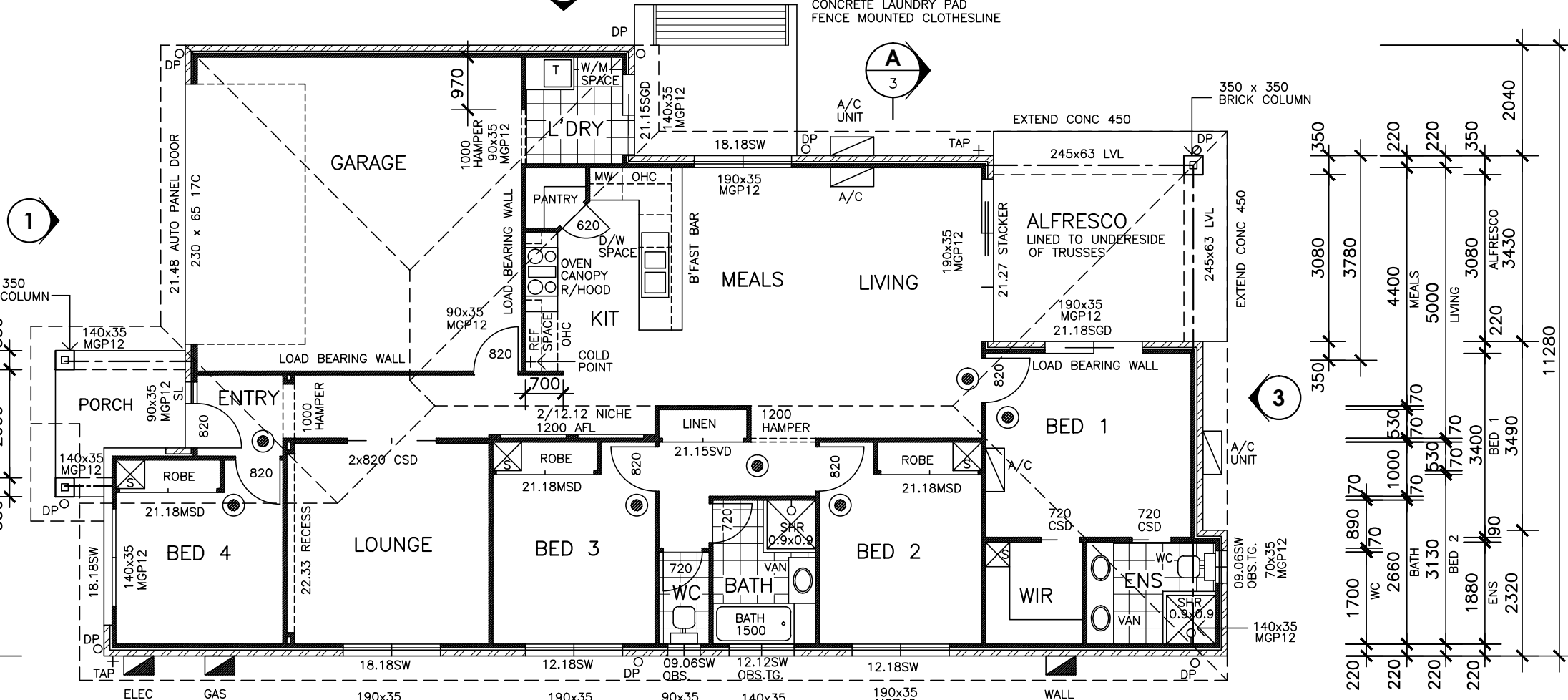
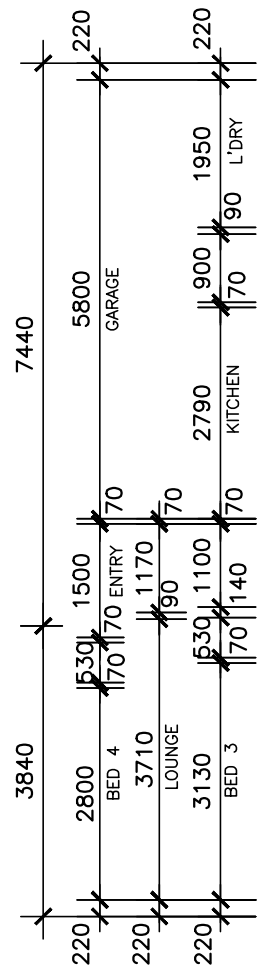


- APPROVED SMOKE DETECTOR
INSTALLED AS PER THE BCA PART
3.7.2. LOCATED ON OR NEAR
CEILING TO COMPLY WITH AS3786
- SOLID WALLS INDICATE
TIMBER CONSTRUCTION
- HATCHED WALLS INDICATE
MASONRY CONSTRUCTION

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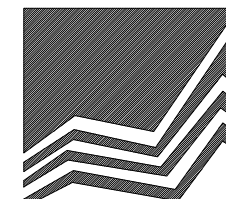
SHEET NO. 2 OF 3

A3 SHEET SIZE

FLOOR PLAN
SCALE 1:100

FLOOR AREAS	
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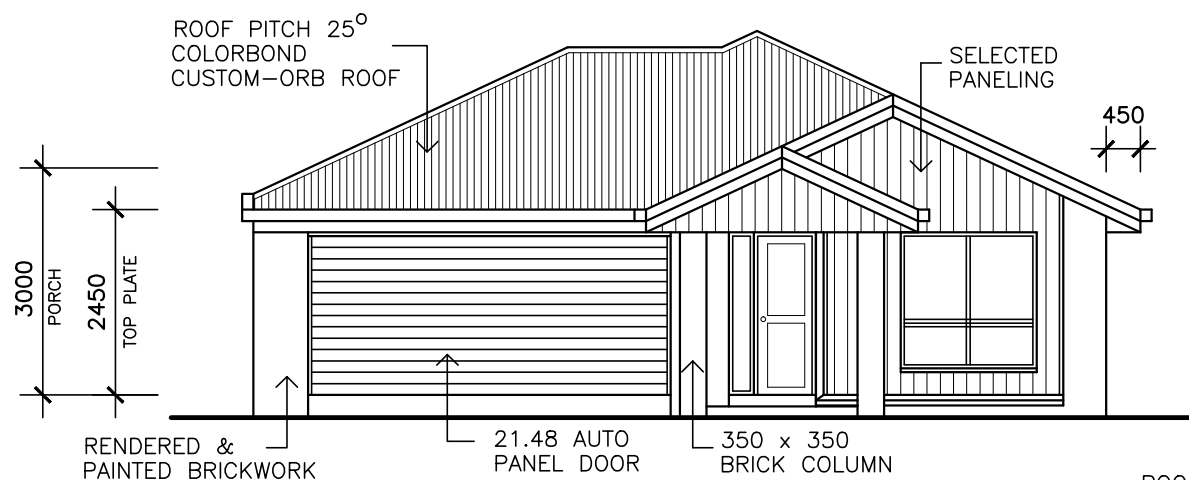
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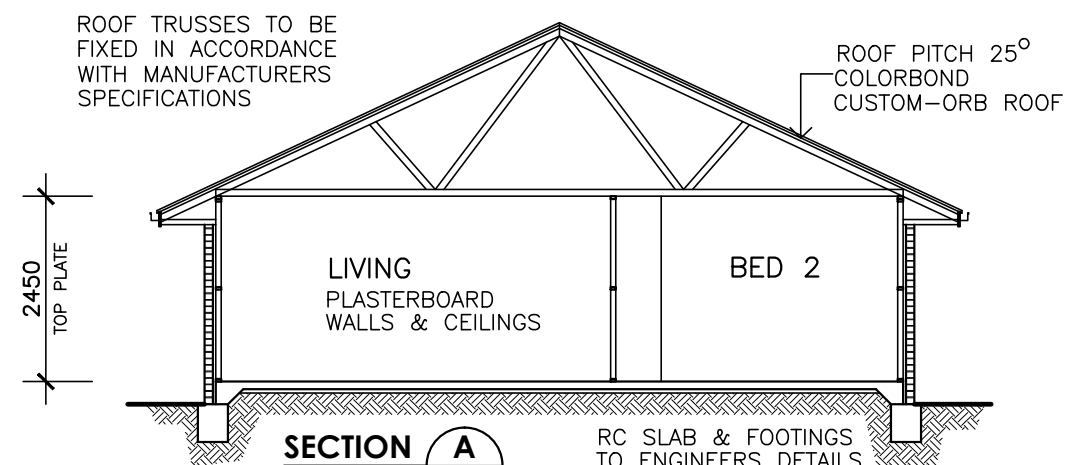
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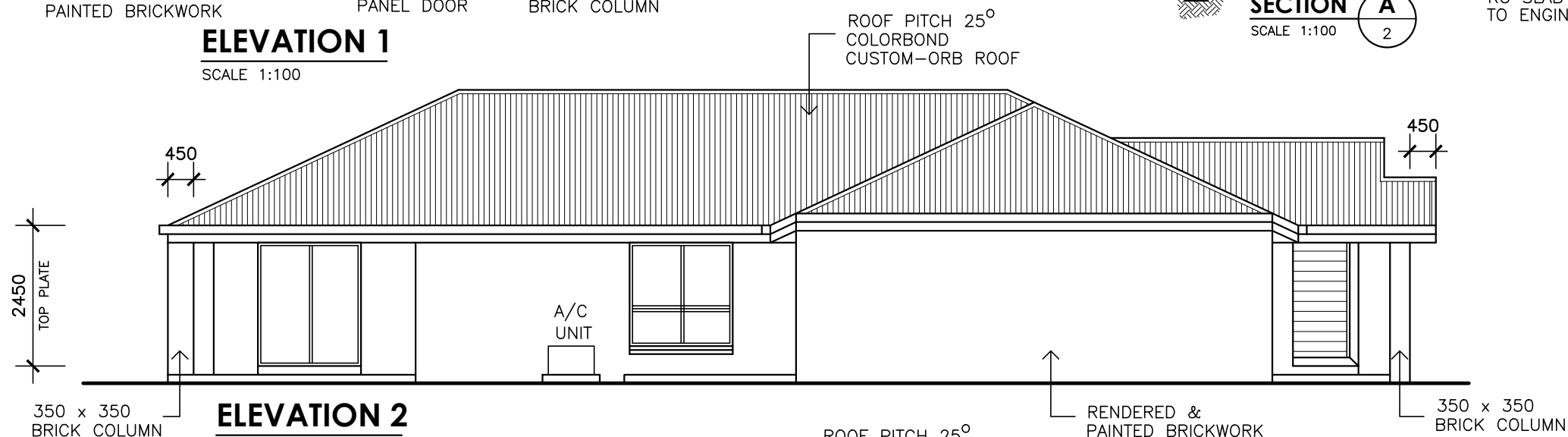
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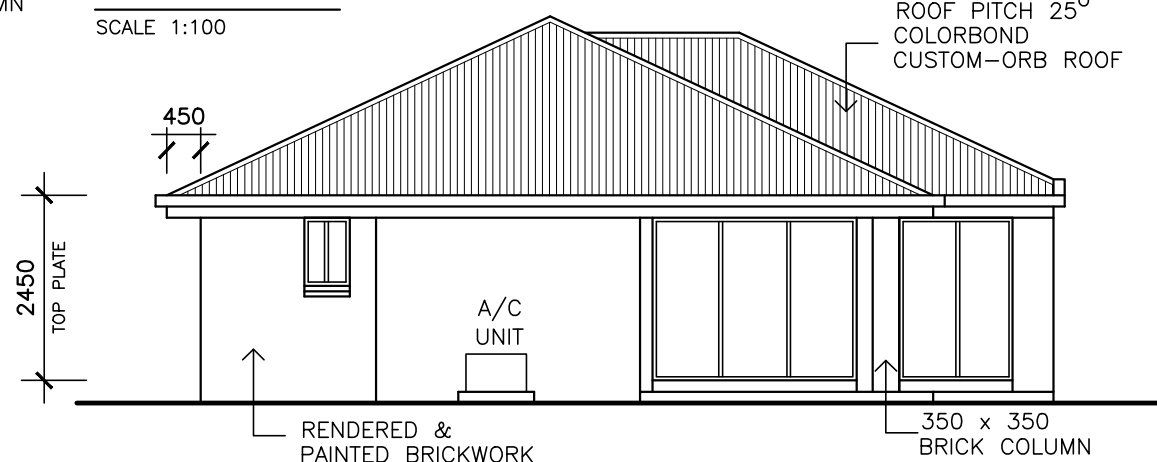
ELEVATION 1
SCALE 1:100



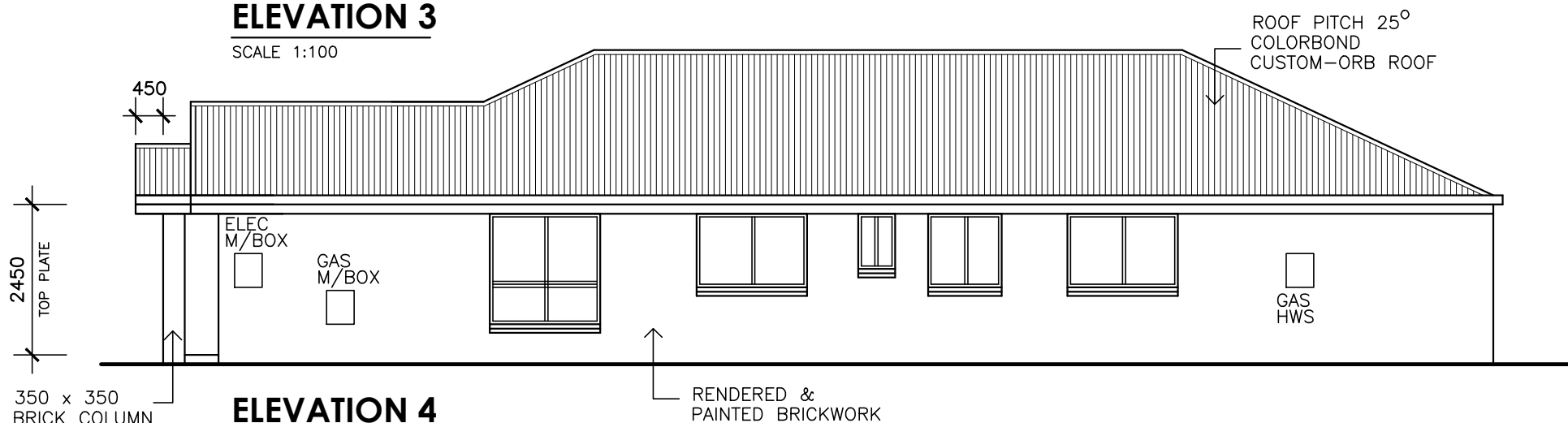
SECTION A
SCALE 1:100



ELEVATION 2
SCALE 1:100



ELEVATION 3
SCALE 1:100



ELEVATION 4
SCALE 1:100

