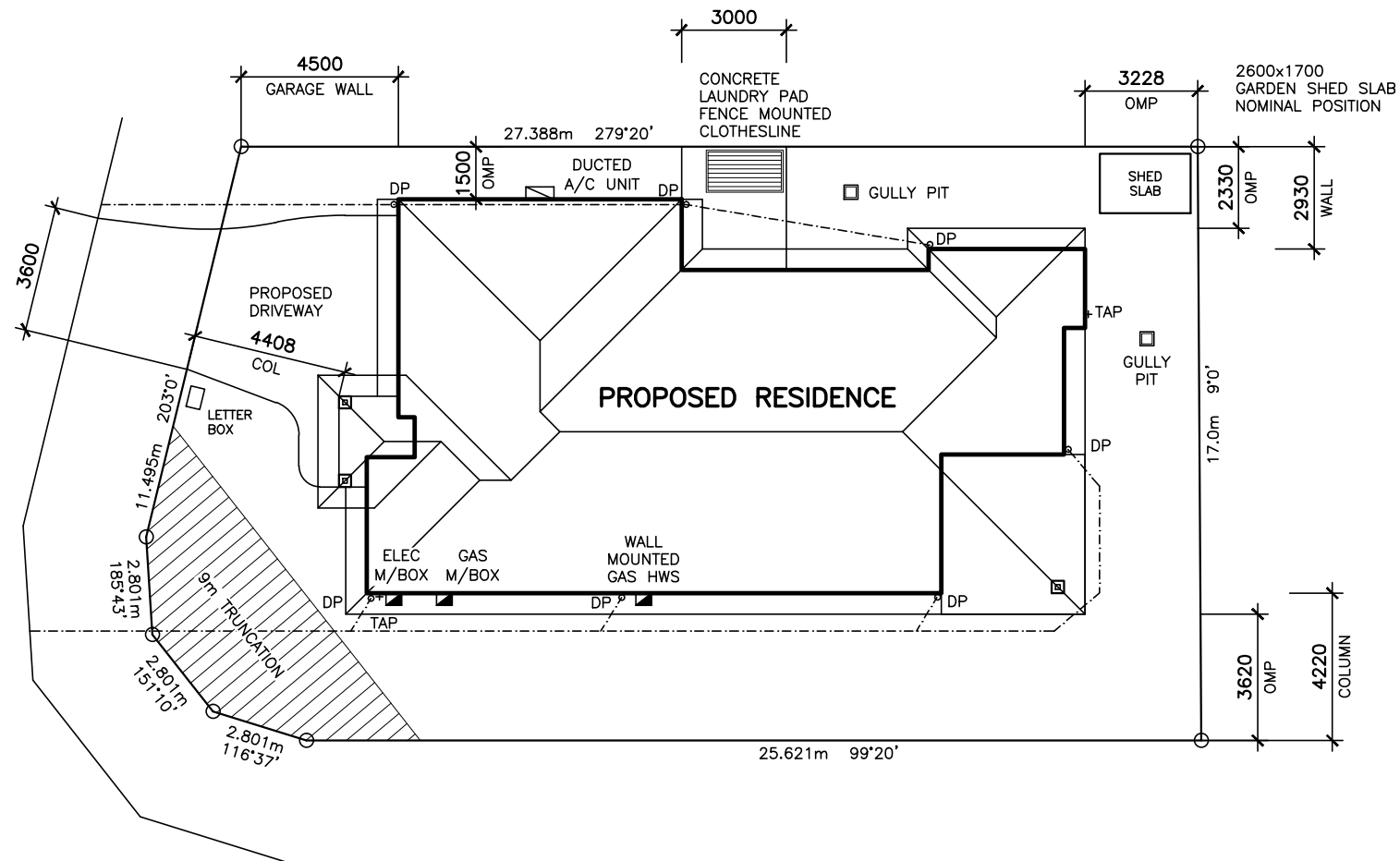


RAVENSBOURNE CRESCENT



RAVENSBOURNE CRESCENT

**REAL PROPERTY DESCRIPTION**

LOT 481 : SP275700  
 PARISH : REDCLIFFE  
 COUNTY : STANLEY  
 AREA : 492 sq.m.



PO Box 1305  
 Caboolture Qld 4510  
 Office (07) 54952011  
 Fax: (07) 54952677  
 ACN: 065 955 179

**NOTE**  
 \* ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & AS1684.2 - 1999 TIMBER FRAMING MANUAL.  
 \* WINDOW CODES DENOTE HEIGHT x WIDTH e.g. 12.18 = 1200 HIGH x 1800 WIDE.

\* ALL DIMENSIONS ARE IN MILLIMETERS & ARE TO BE VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS OR MANUFACTURING. DIMENSIONS TAKE PREFERENCE OVER SCALE.

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\* DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TRUE REPRESENTATIONS OF ITEMS INCLUDED IN CONTRACT. REFER TO CONTRACT FOR SPECIFIED ITEMS.

**TERMITE TREATED FRAME**

REF 109GRIF  
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CLIENT  
**MANCORP QUALITY HOMES**

PROJECT  
**PROPOSED RESIDENCE**

LOCATION  
**LOT 481  
 RAVENSBOURNE CRESCENT  
 NORTHLAKES**

**AMENDMENTS**

ISSUE	DATE	DESCRIPTION
A	27/09/16	PRELIMINARY

DRAWN: L.ALSTON      CHECKED:

DATE: 27/09/16      SCALE: AS SHOWN

JOB NUMBER:      SHEET NUMBER:

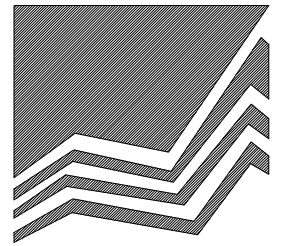
1 OF 3

AREA	
LIVING	185.5 (37.7% S/C)
PORCH	4.5
ALFRESCO	14.0
<b>TOTAL</b>	<b>204.0 sq.m.</b>
AREA OF SITE	492 sq.m.
SITE COVER	41.5%

**NOTE**  
 STORMWATER TO DISCHARGE INTO EXISTING. STORMWATER LINES & RETICULATE TO EXISTING LAWFUL POINT OF DISCHARGE  
 ALL STORMWATER LINES HAVE MINIMUM 100mm COVER.  
 STORMWATER LINES & DOWNPIPES SHOWN ARE INDICATIVE ONLY.  
 THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH AS3500 AS2870 AND THE BCA.  
 LEVELS SHOWN REFERENCED TO AHD.

**SITE PLAN**

SCALE 1:200



**MANCORP**  
QUALITY HOMES

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NORTHLAKES**

AMENDMENTS

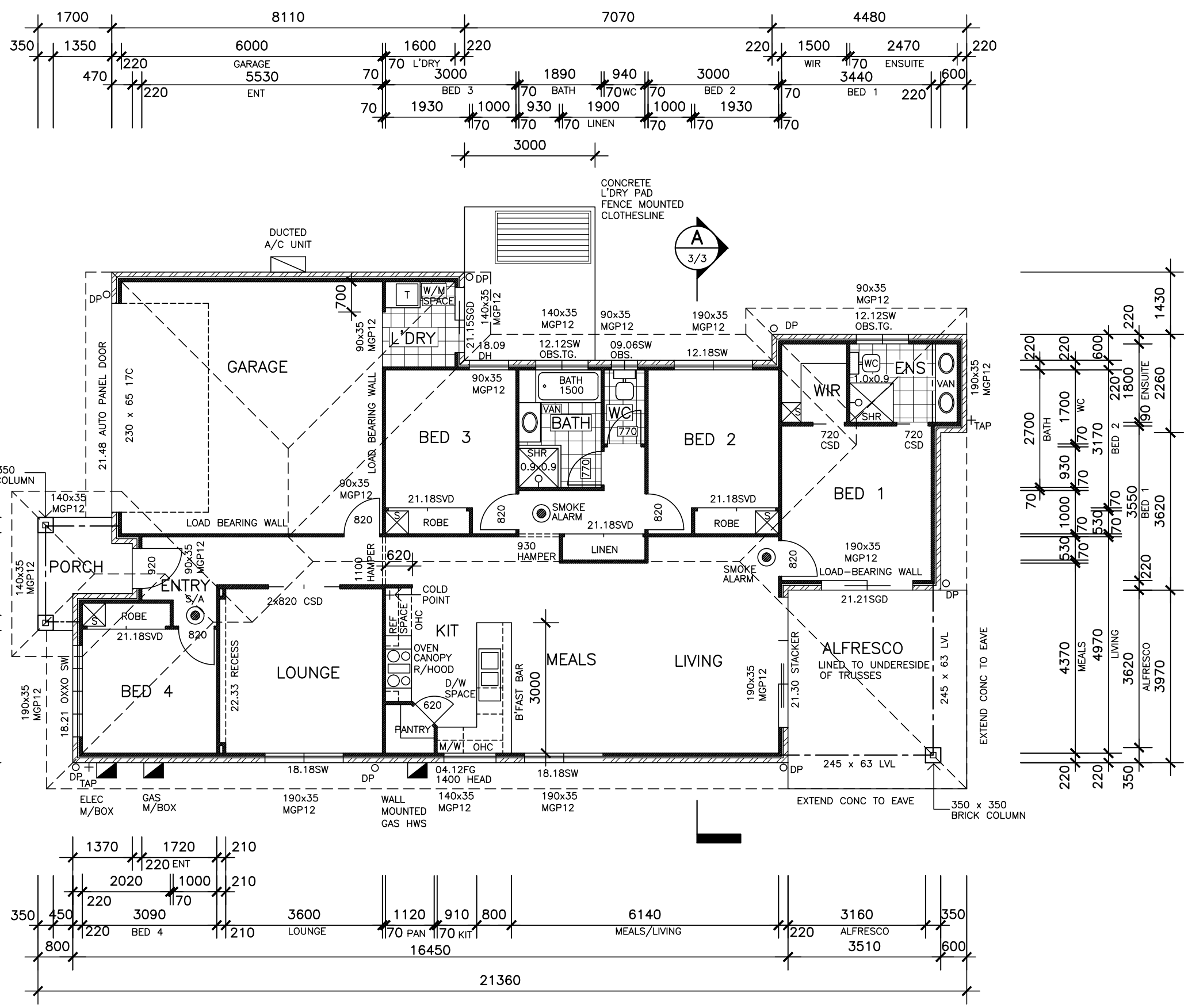
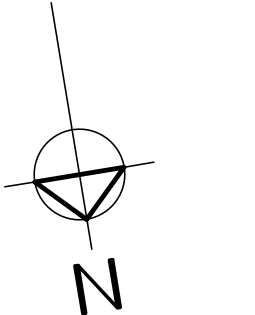
ISSUE	DATE	DESCRIPTION
A	27/09/16	PRELIMINARY

DRAWN: L.LALSTON      CHECKED:

DATE: 27/09/16      SCALE: AS SHOWN

JOB NUMBER:      SHEET NUMBER:

2 OF 3



Key Plan

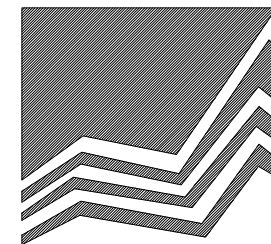
**FLOOR PLAN**  
SCALE 1:100

APPROVED SMOKE DETECTOR INSTALLED AS PER THE BCA PART 3.7.2. LOCATED ON OR NEAR CEILING TO COMPLY WITH AS3786

SOLID WALLS INDICATE TIMBER CONSTRUCTION

HATCHED WALLS INDICATE MASONRY CONSTRUCTION

AREA	
LIVING	185.5 (37.7% S/C)
PORCH	4.5
ALFRESCO	14.0
<b>TOTAL</b>	<b>204.0 sq.m.</b>
AREA OF SITE	492 sq.m.
SITE COVER	41.5%



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QUALITY HOMES

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**PROPOSED RESIDENCE**

LOCATION  
**LOT 481  
RAVENSBORNE CRESCENT  
NORTHLAKES**

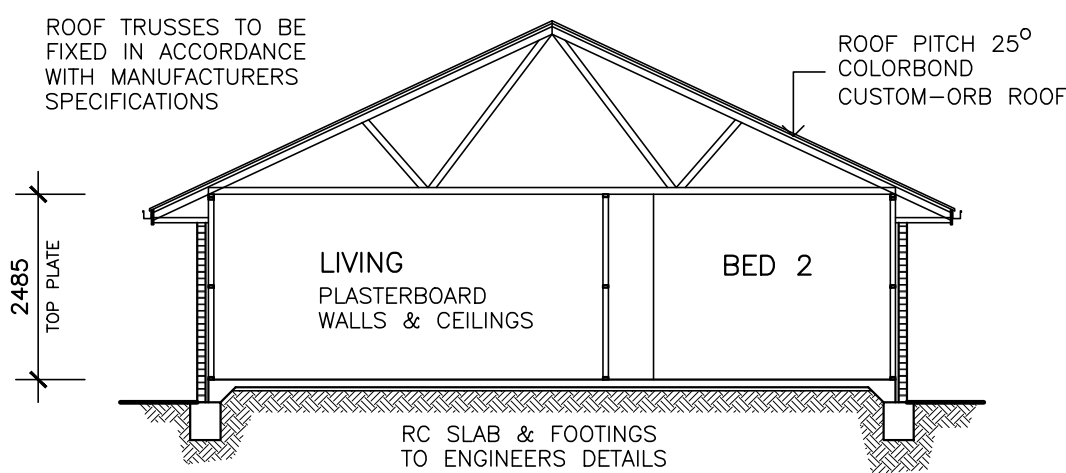
AMENDMENTS

ISSUE	DATE	DESCRIPTION
A	27/09/16	PRELIMINARY

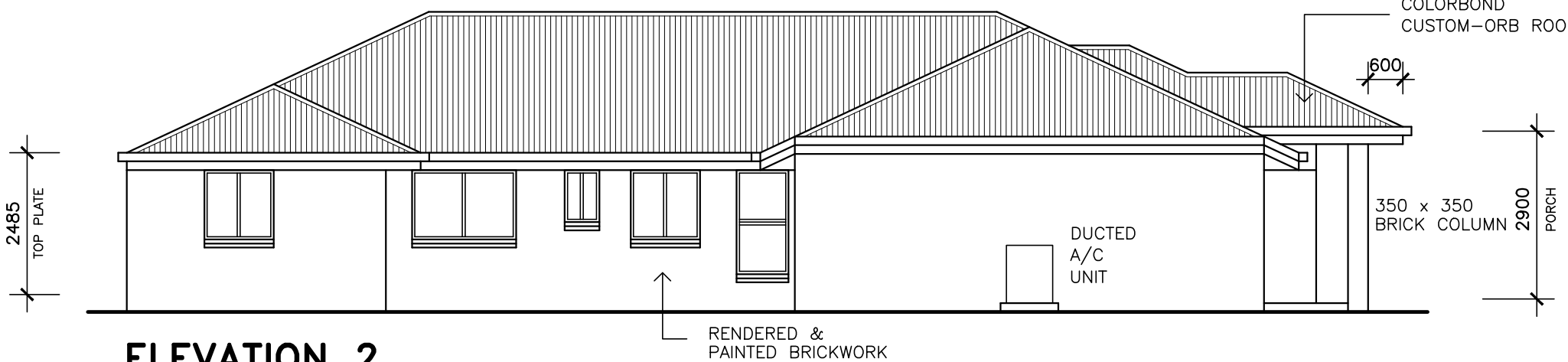
DRAWN: L.ALSTON      CHECKED:  
DATE: 27/09/16      SCALE: 1:100  
JOB NUMBER:      SHEET NUMBER:  
3 OF 3



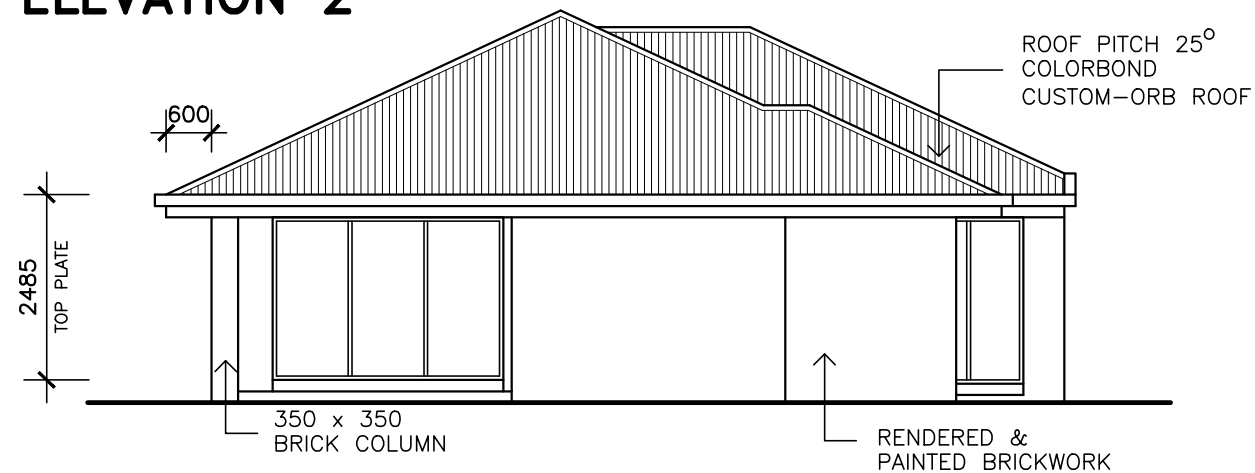
**ELEVATION 1**



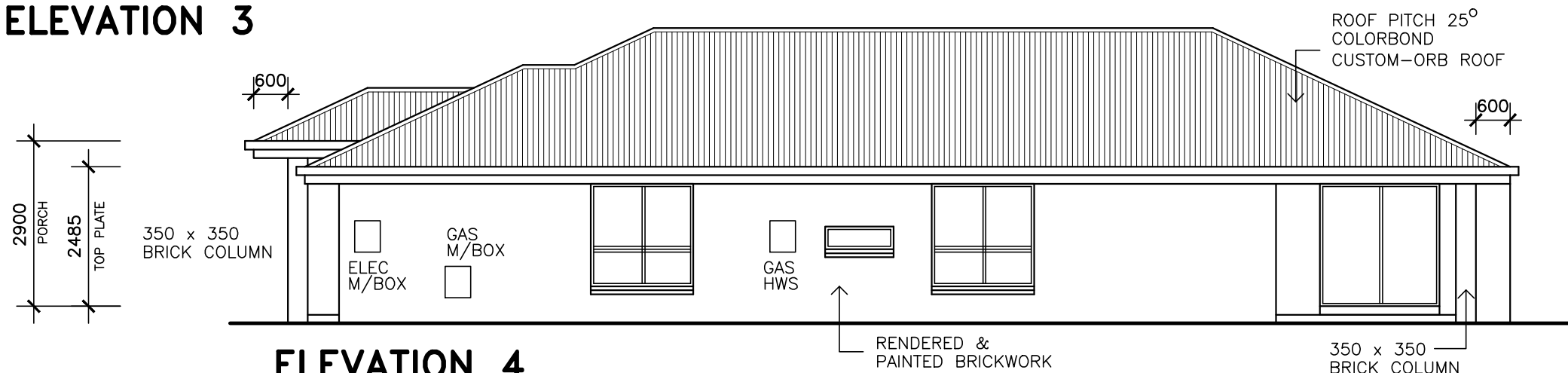
**SECTION A**



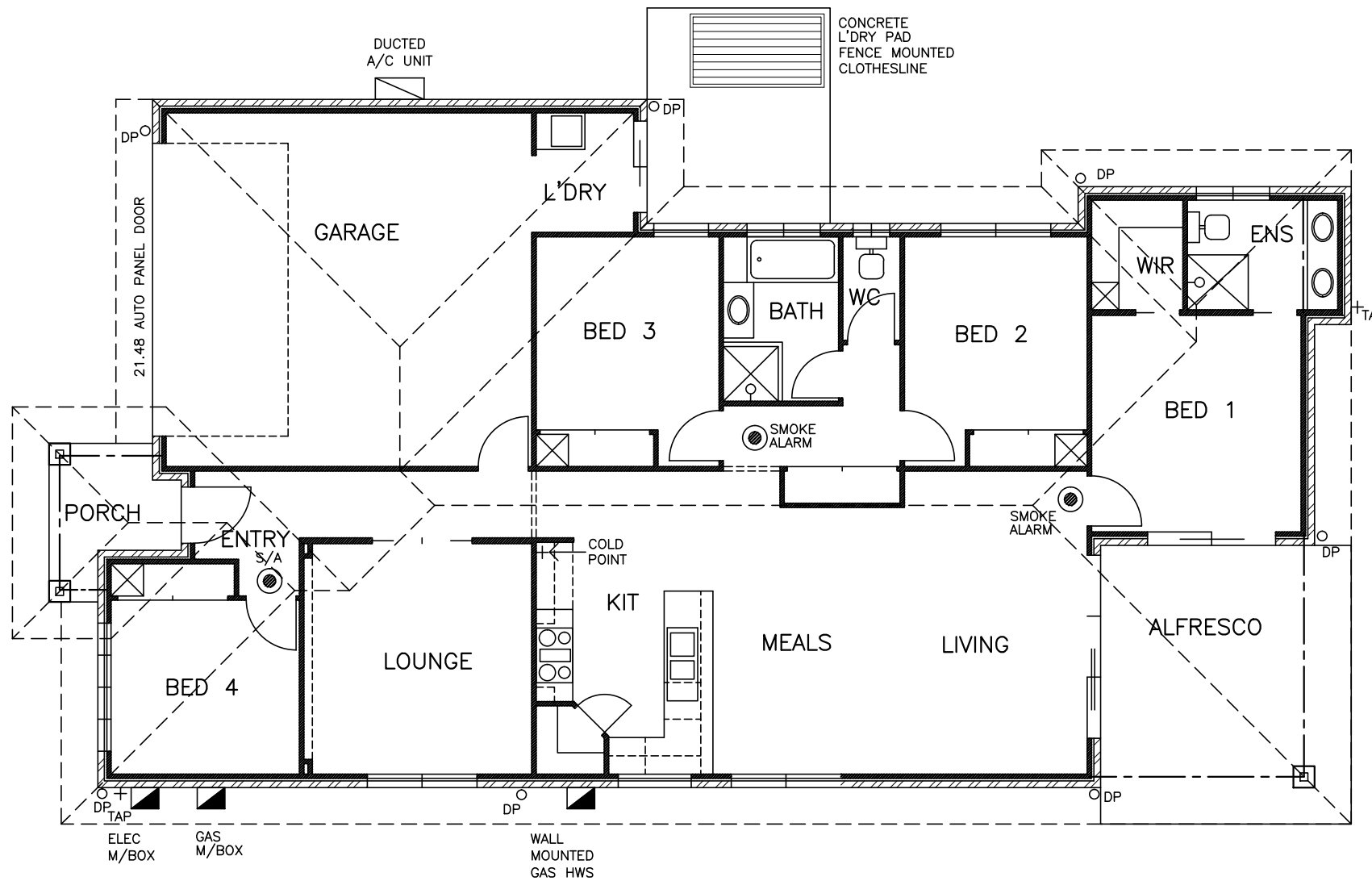
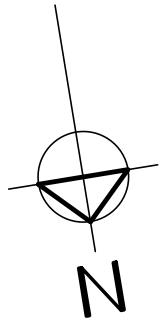
**ELEVATION 2**



**ELEVATION 3**



**ELEVATION 4**



**ELECTRICAL LEGEND**

- |   |                     |       |                          |
|---|---------------------|-------|--------------------------|
| ○ | LIGHT POINT         | ◁ TEL | TELEPHONE OUTLET         |
| ▭ | FLUORESCENT LIGHT   | ○     | WALL MOUNTED LIGHT POINT |
| ⦿ | SINGLE POWER OUTLET | ⊕     | DOWN LIGHT               |
| ⦿ | DOUBLE POWER OUTLET | ◑     | WATERPROOF FLOOD LIGHT   |
| ⦿ | TV POINT            | ▣     | METRE BOX                |
| ⦿ | EXHAUST FAN         | ⦿     | SMOKE ALARM              |
| ⦿ | CEILING FAN         |       |                          |

**PLUMBING & ELECTRICAL PLAN**  
SCALE 1:100



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ISSUE	DATE	DESCRIPTION
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DATE: 27/09/16	SCALE: AS SHOWN
JOB NUMBER:	SHEET NUMBER: ADDITIONAL 1