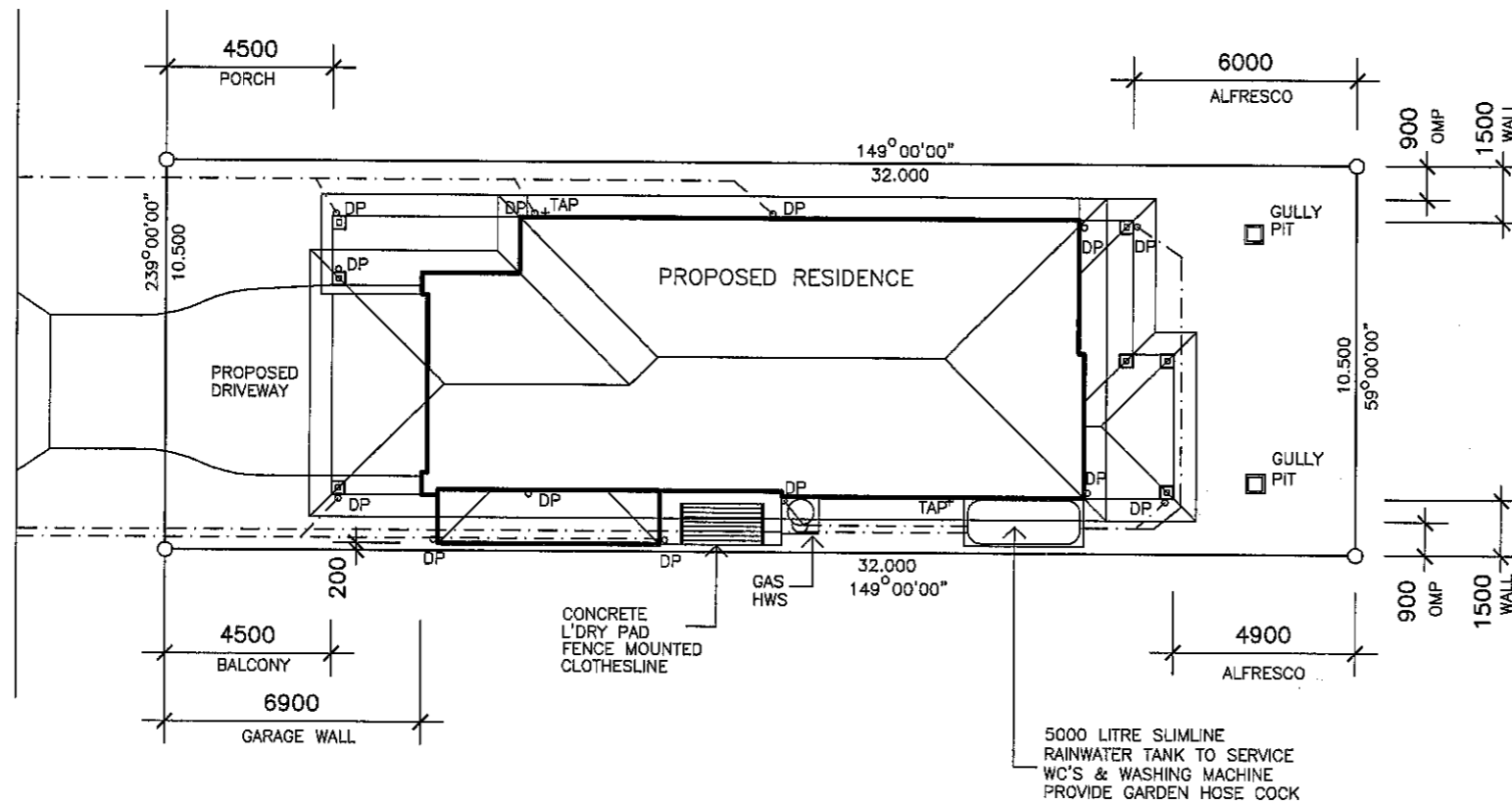


AUGUSTA PARADE



| | |
|--------------------|--------------------|
| GROUND FLOOR | |
| LIVING | 128.4 |
| PORCH | 7.1 |
| ALFRESCO | 21.5 |
| TOTAL | 157.0 sq.m. |
| UPPER FLOOR | |
| LIVING | 129.5 |
| BALCONY | 12.9 |
| TOTAL | 142.4 sq.m. |
| TOTAL BUILD | 299.4 sq.m. |
| AREA OF SITE | 336 sq.m. |
| SITE COVER | 46.7% |

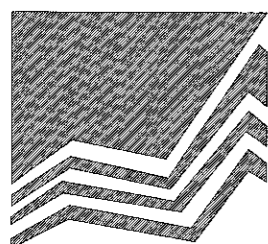
NOTE
 STORMWATER TO DISCHARGE INTO EXIST. STORMWATER LINES & RETICULATE TO EXIST. LAWFULL POINT OF DISCHARGE
 ALL STORMWATER LINES TO HAVE MINIMUM 100mm COVER.
 STORMWATER LINES SHOWN ARE INDICATIVE ONLY
 THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH AS.3500, AS.2870 AND BCA

NOTE
 DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TRUE REPRESENTATION OF ITEMS INCLUDED IN CONTRACT. REFER TO CONTRACT FOR SPECIFIED ITEMS

REAL PROPERTY DESCRIPTION
 LOT 26 ON SP228841
 PARISH: REDCLIFFE
 COUNTY: STANLEY
 AREA : 336 sq.m.

SITE PLAN

SCALE 1: 200



MANCOP
QUALITY HOMES

PO Box 1305
 Caboolture Qld 4510
 Office (07) 54952011
 Fax: (07) 54952677
 ACN: 065 955 179

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NOTE :

- * ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA AND AS. 1684.2 - 1999 TIMBER FRAMING MANUAL.
- * WINDOW CODES DENOTE HEIGHT x WIDTH e.g. 1218 - 1200 HIGH x 1800 WIDE.
- * DIMENSIONS TO BE VERIFIED BY CONTRACTORS PRIOR TO PREPARATION OF SHOP DRAWINGS OR MANUFACTURING. DIMENSIONS TAKE PREFERENCE OVER SCALE.

AMENDMENTS

| ISSUE | DATE | DESCRIPTION |
|-------|----------|-----------------|
| A | 23/04/10 | WORKING DRAWING |
| | | |
| | | |
| | | |
| | | |

CLIENT

MANCOP QUALITY HOMES

PROJECT

PROPOSED RESIDENCE

LOCATION

**LOT 26
 AUGUSTA PARADE, NORTH LAKES**

DRAWN: A.WATTS

DATE: 23/04/10

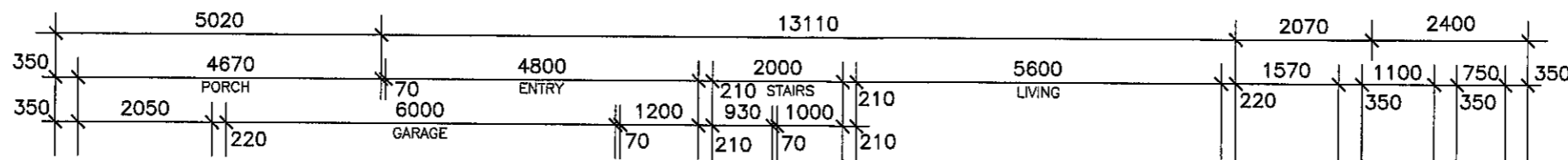
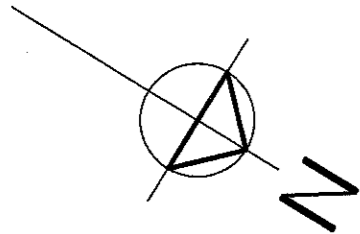
JOB NO.

CHECKED: *RD 27/4/10*

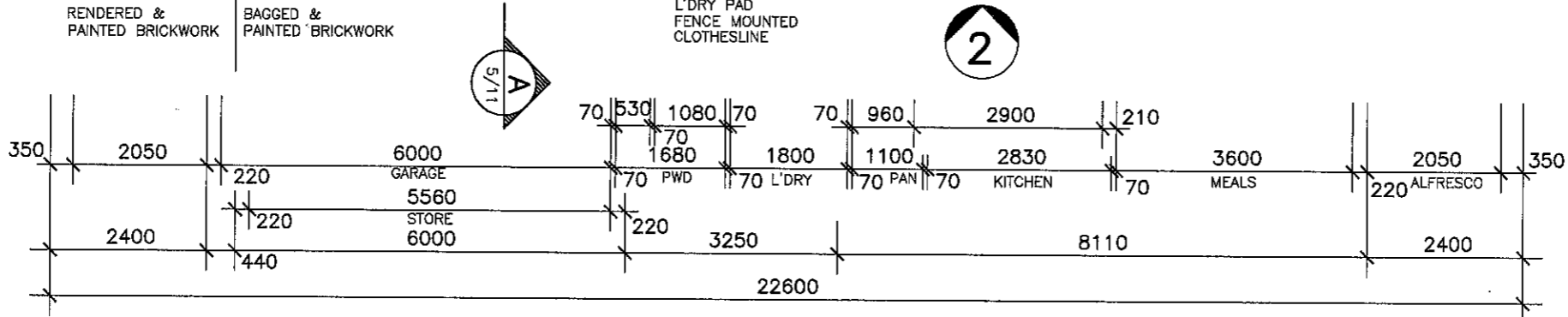
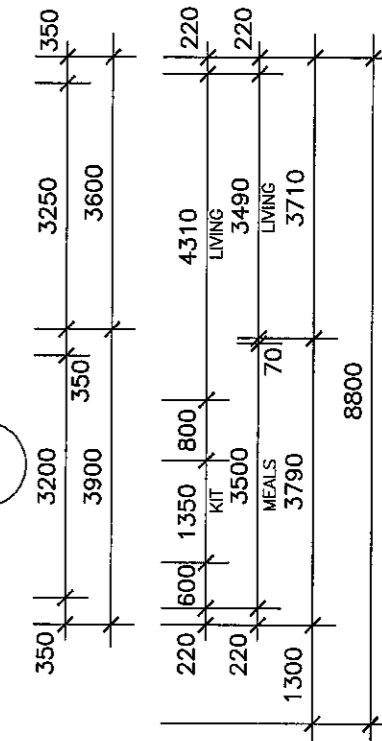
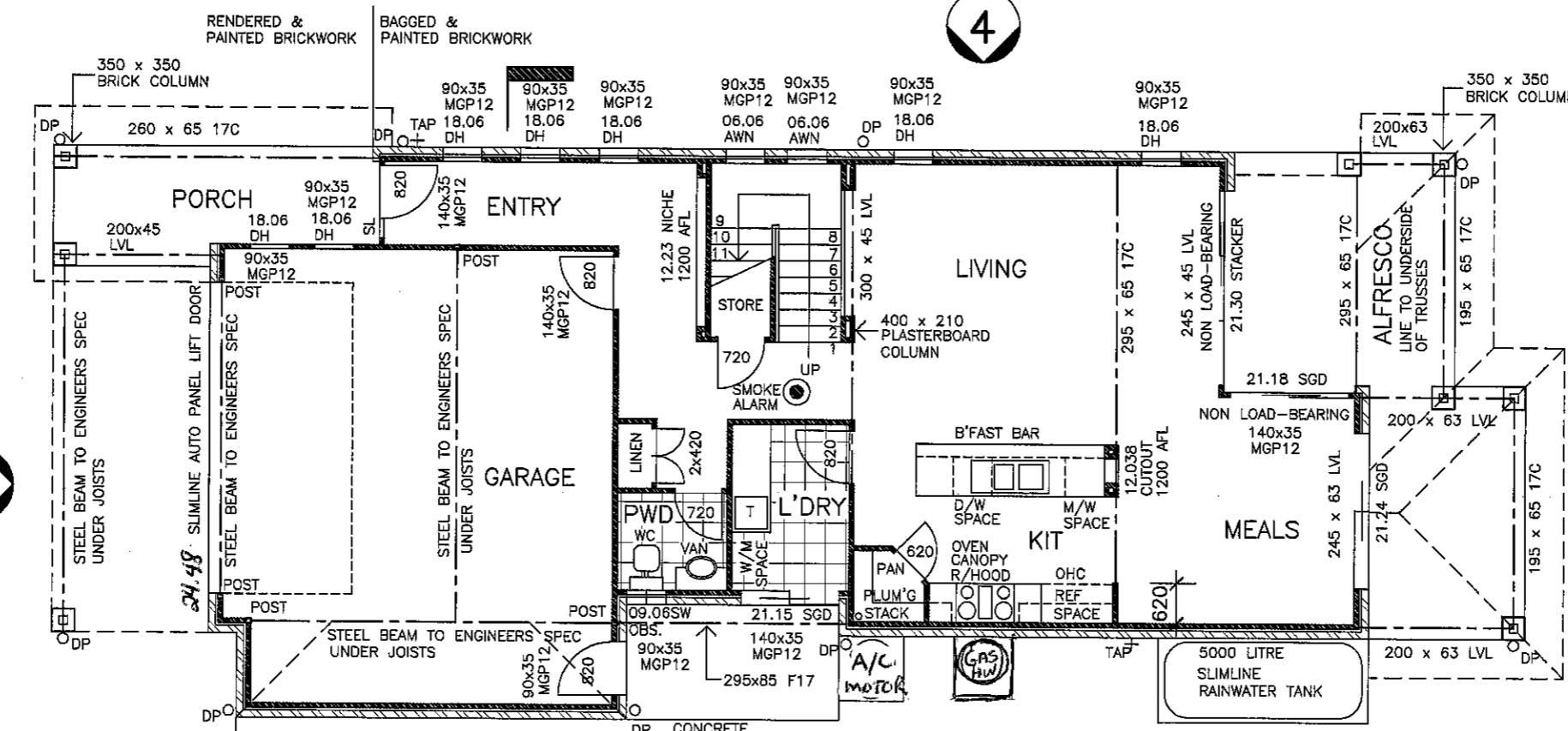
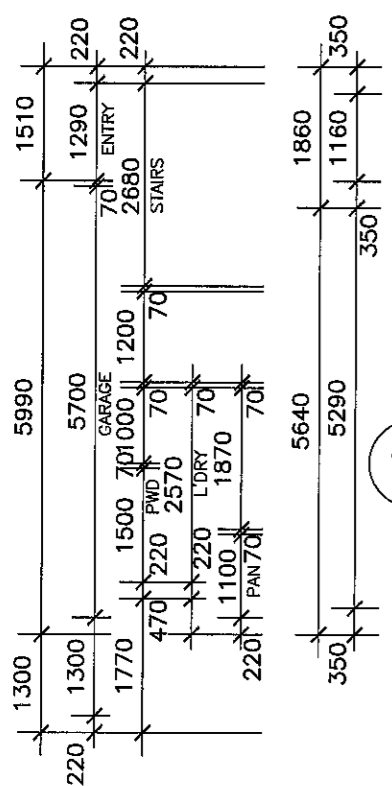
SCALE: AS SHOWN

SHEET No.

1 OF 11



APPROVED SMOKE DETECTOR LOCATED ON OR NEAR CEILING TO COMPLY WITH AS. 3786
 SOLID WALLS INDICATE TIMBER CONSTRUCTION
 HATCHED WALLS INDICATE MASONRY CONSTRUCTION

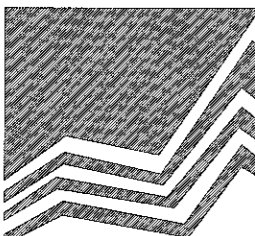


GROUND FLOOR PLAN

SCALE 1:100

NOTE
DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TRUE REPRESENTATION OF ITEMS INCLUDED IN CONTRACT. REFER TO CONTRACT FOR SPECIFIED ITEMS

| | |
|--------------------|--------------------|
| GROUND FLOOR | |
| LIVING | 128.4 |
| PORCH | 7.1 |
| ALFRESCO | 21.5 |
| TOTAL | 157.0 sq.m. |
| UPPER FLOOR | |
| LIVING | 129.5 |
| BALCONY | 12.9 |
| TOTAL | 142.4 sq.m. |
| TOTAL BUILD | 299.4 sq.m. |



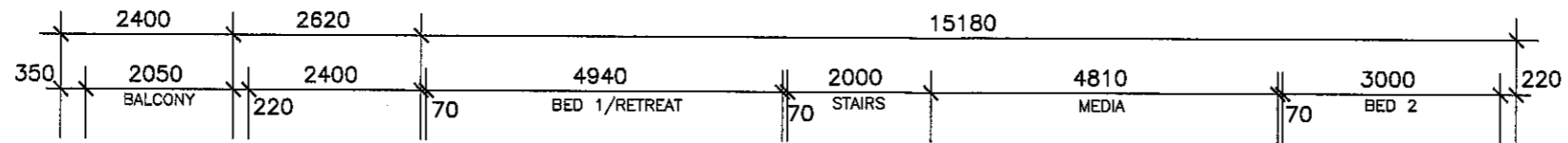
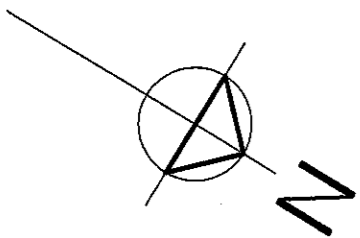
MANCOPR
 QUALITY HOMES
 PO Box 1305
 Caboolture Qld 4510
 Office (07) 54952011
 Fax: (07) 54952677
 ACN: 065 955 179
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NOTE :
 * ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA AND AS. 1684.2 - 1999 TIMBER FRAMING MANUAL.
 * WINDOW CODES DENOTE HEIGHT x WIDTH e.g. 1218 - 1200 HIGH x 1800 WIDE.
 * DIMENSIONS TO BE VERIFIED BY CONTRACTORS PRIOR TO PREPARATION OF SHOP DRAWINGS OR MANUFACTURING. DIMENSIONS TAKE PREFERENCE OVER SCALE.

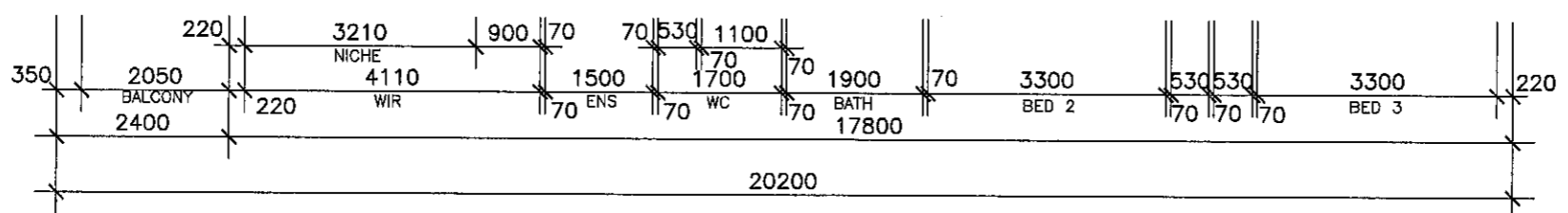
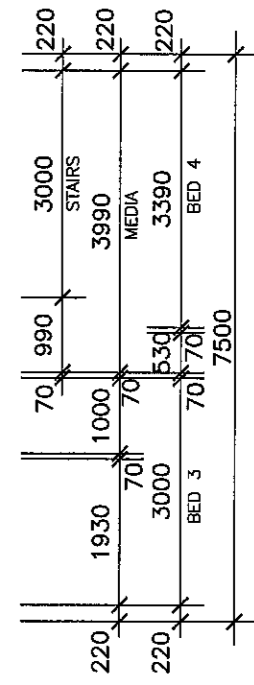
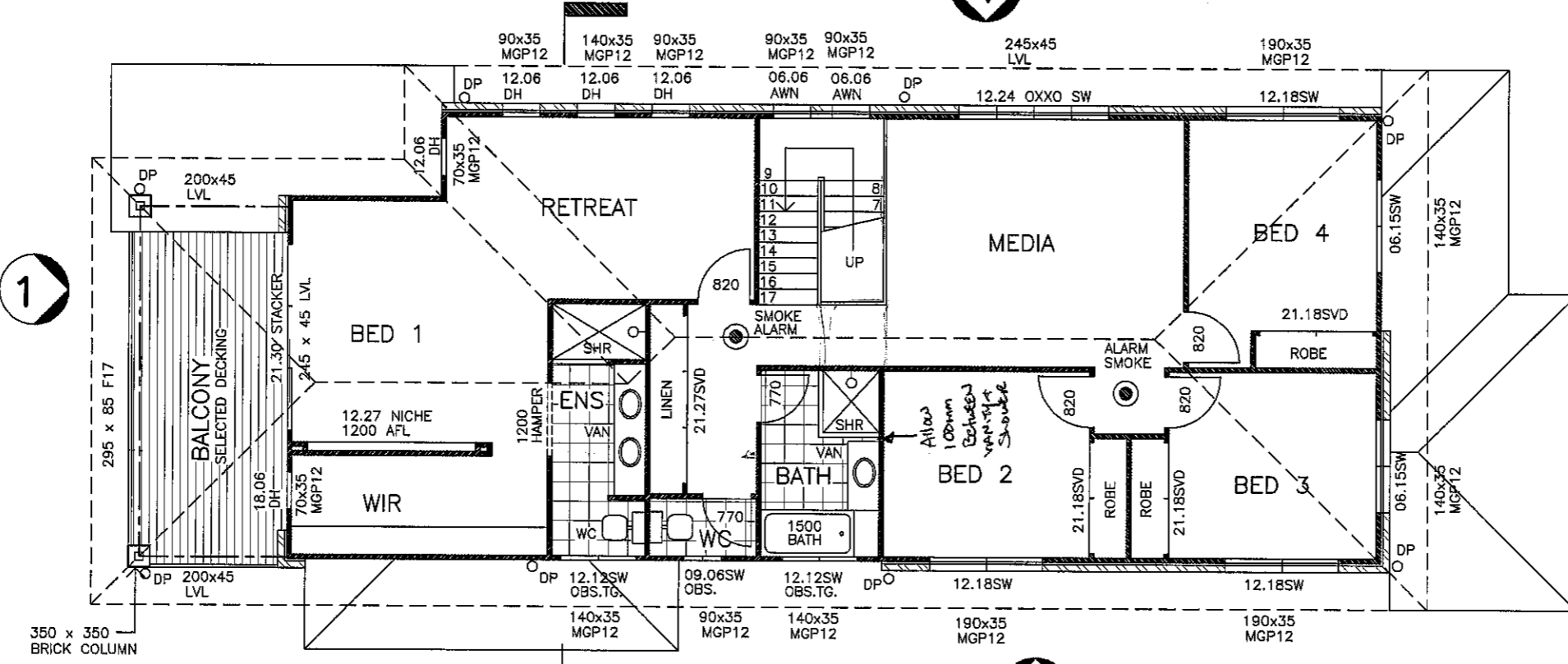
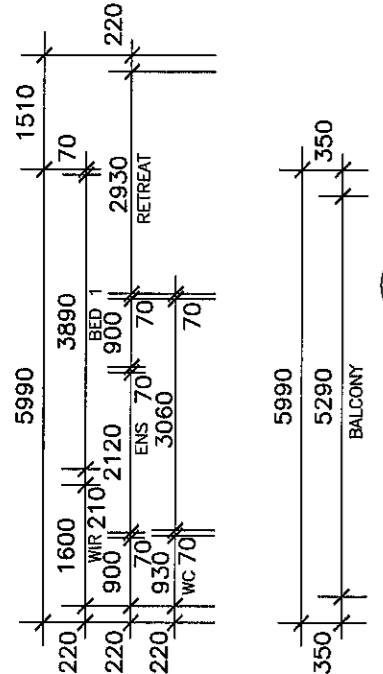
| AMENDMENTS | | |
|------------|----------|-----------------|
| ISSUE | DATE | DESCRIPTION |
| A | 23/04/10 | WORKING DRAWING |

CLIENT
MANCOPR QUALITY HOMES
 PROJECT
PROPOSED RESIDENCE
 LOCATION
**LOT 26
 AUGUSTA PARADE, NORTH LAKES**

| | |
|----------------|----------------------------|
| DRAWN: A.WATTS | CHECKED: <i>AW</i> 27/4/10 |
| DATE: 23/04/10 | SCALE: AS SHOWN |
| JOB NO. | SHEET No. |
| | 2 OF 11 |



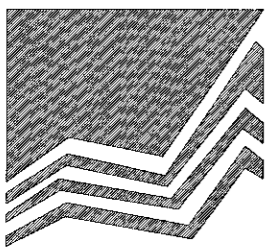
APPROVED SMOKE DETECTOR LOCATED ON OR NEAR CEILING TO COMPLY WITH AS. 3786
 SOLID WALLS INDICATE TIMBER CONSTRUCTION
 HATCHED WALLS INDICATE MASONRY CONSTRUCTION



UPPER FLOOR PLAN
SCALE 1:100

NOTE
DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TRUE REPRESENTATION OF ITEMS INCLUDED IN CONTRACT. REFER TO CONTRACT FOR SPECIFIED ITEMS

| | |
|--------------------|--------------------|
| GROUND FLOOR | |
| LIVING | 128.4 |
| PORCH | 7.1 |
| ALFRESCO | 21.5 |
| TOTAL | 157.0 sq.m. |
| UPPER FLOOR | |
| LIVING | 129.5 |
| BALCONY | 12.9 |
| TOTAL | 142.4 sq.m. |
| TOTAL BUILD | 299.4 sq.m. |



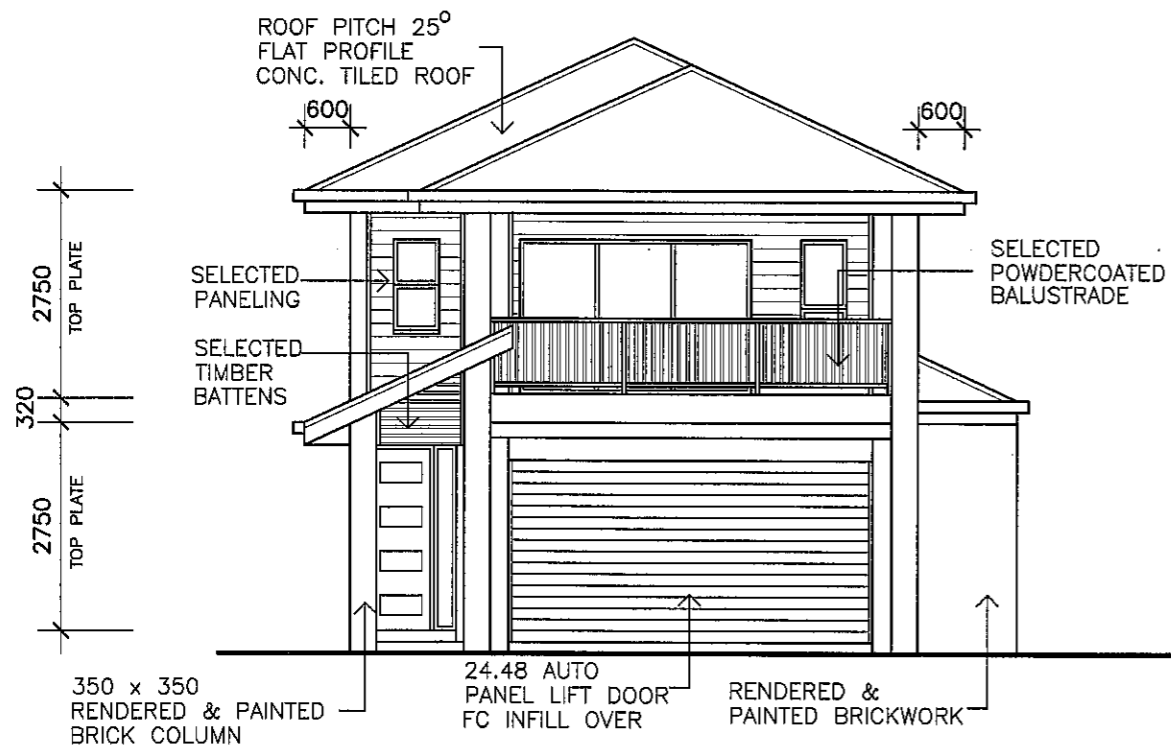
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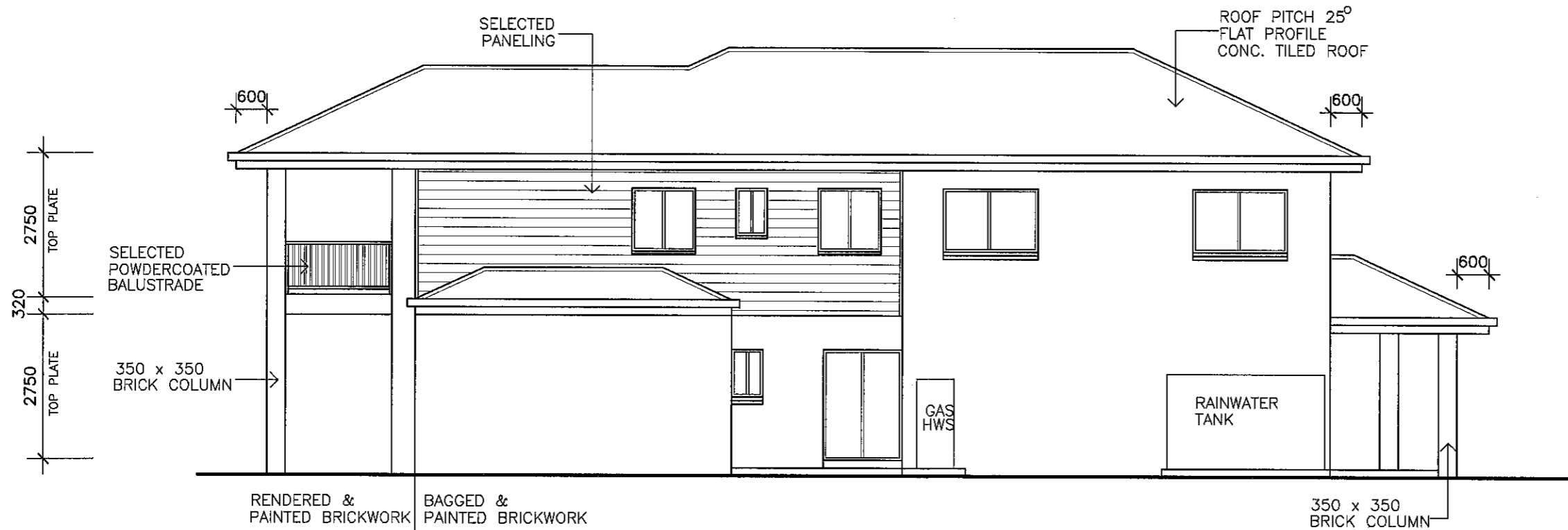
| AMENDMENTS | | |
|------------|----------|-----------------|
| ISSUE | DATE | DESCRIPTION |
| A | 23/04/10 | WORKING DRAWING |

CLIENT
MANCORN QUALITY HOMES
PROJECT
PROPOSED RESIDENCE
LOCATION
**LOT 26
AUGUSTA PARADE, NORTH LAKES**

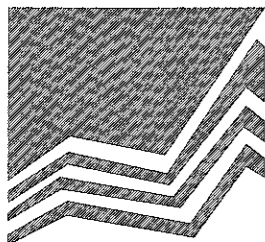
| | |
|----------------|------------------------|
| DRAWN: A.WATTS | CHECKED: 20 27/4/10 |
| DATE: 23/04/10 | SCALE: AS SHOWN |
| JOB NO. | SHEET No. 3 OF 11 |



ELEVATION 1



ELEVATION 2



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AMENDMENTS

| ISSUE | DATE | DESCRIPTION |
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| A | 23/04/10 | WORKING DRAWING |
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CLIENT

MANCOP QUALITY HOMES

PROJECT

PROPOSED RESIDENCE

LOCATION

**LOT 26
AUGUSTA PARADE, NORTH LAKES**

DRAWN: A.WATTS

DATE: 23/04/10

JOB NO.

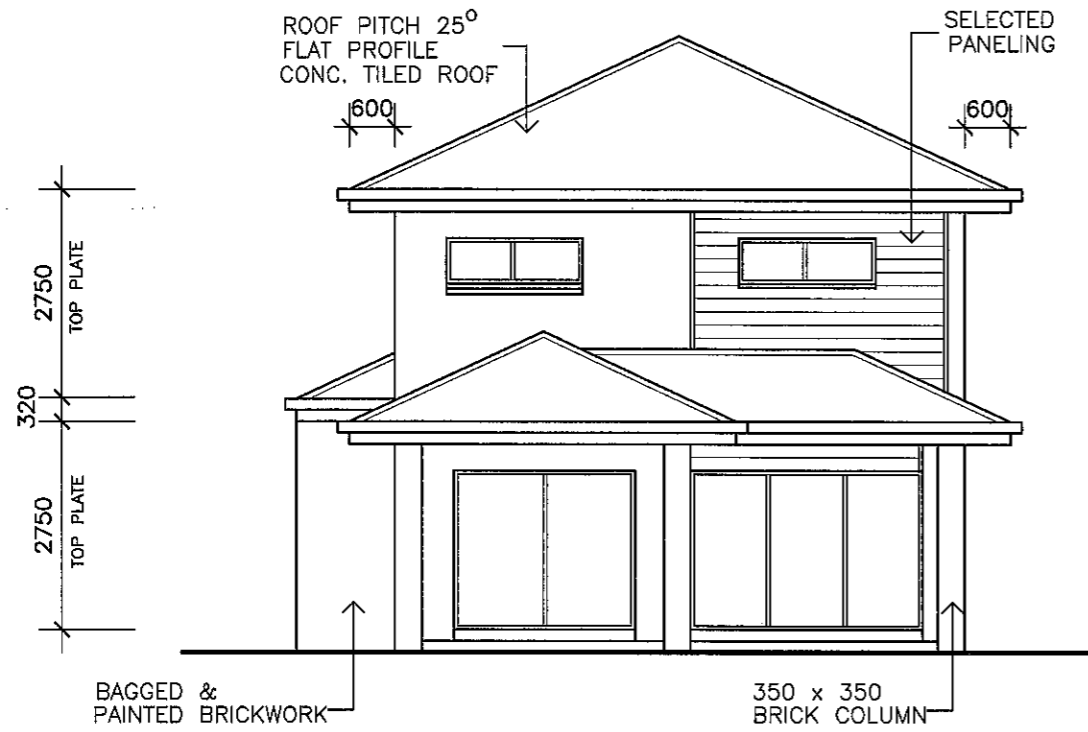
CHECKED:

AW 23/4/10

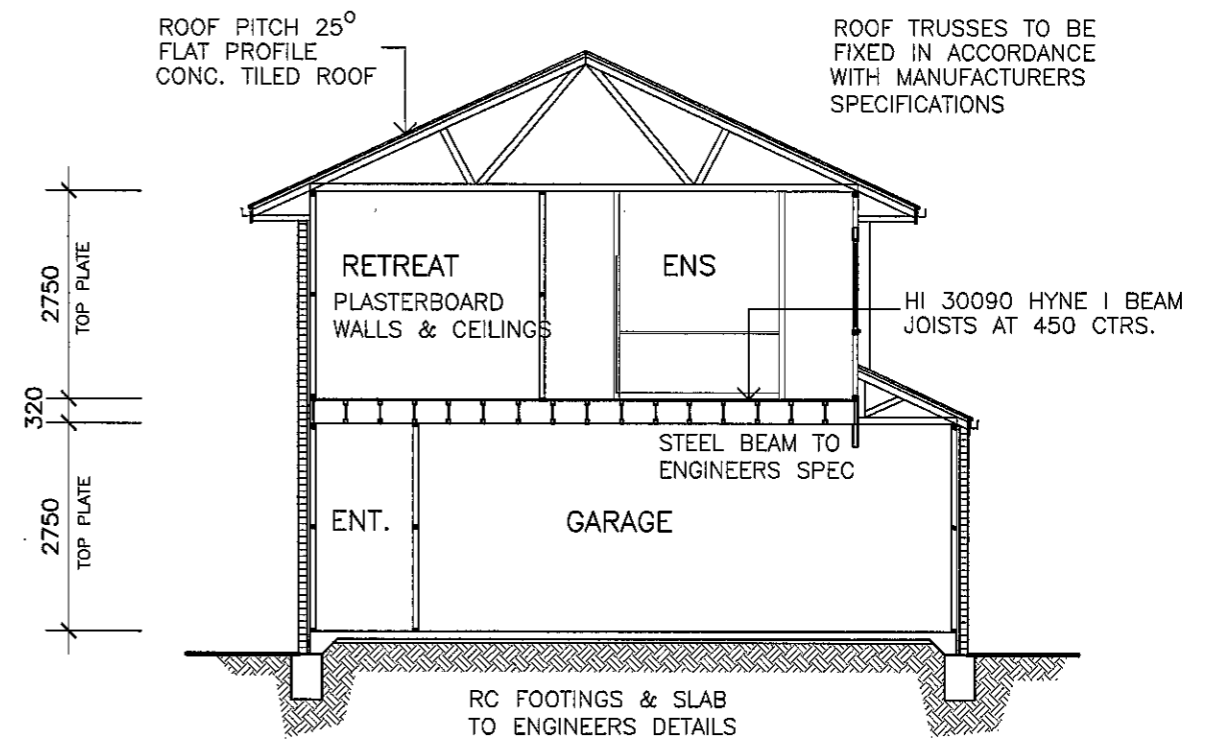
SCALE: AS SHOWN

SHEET No.

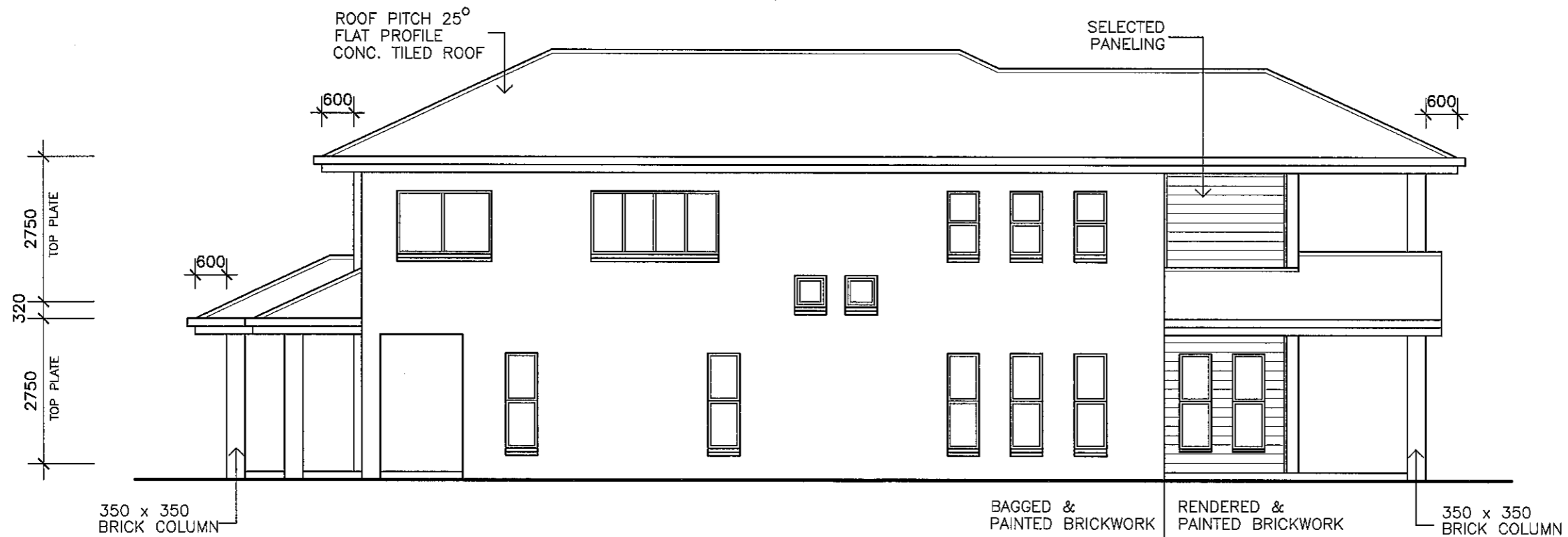
4 OF 11



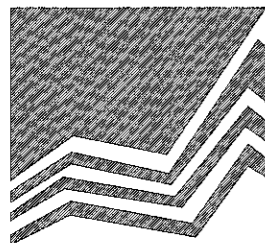
ELEVATION 3



SECTION A



ELEVATION 4



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AMENDMENTS

| ISSUE | DATE | DESCRIPTION |
|-------|----------|-----------------|
| A | 23/04/10 | WORKING DRAWING |
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CLIENT

MANCOP QUALITY HOMES

PROJECT

PROPOSED RESIDENCE

LOCATION

**LOT 26
AUGUSTA PARADE, NORTH LAKES**

DRAWN: A.WATTS

DATE: 23/04/10

JOB NO.

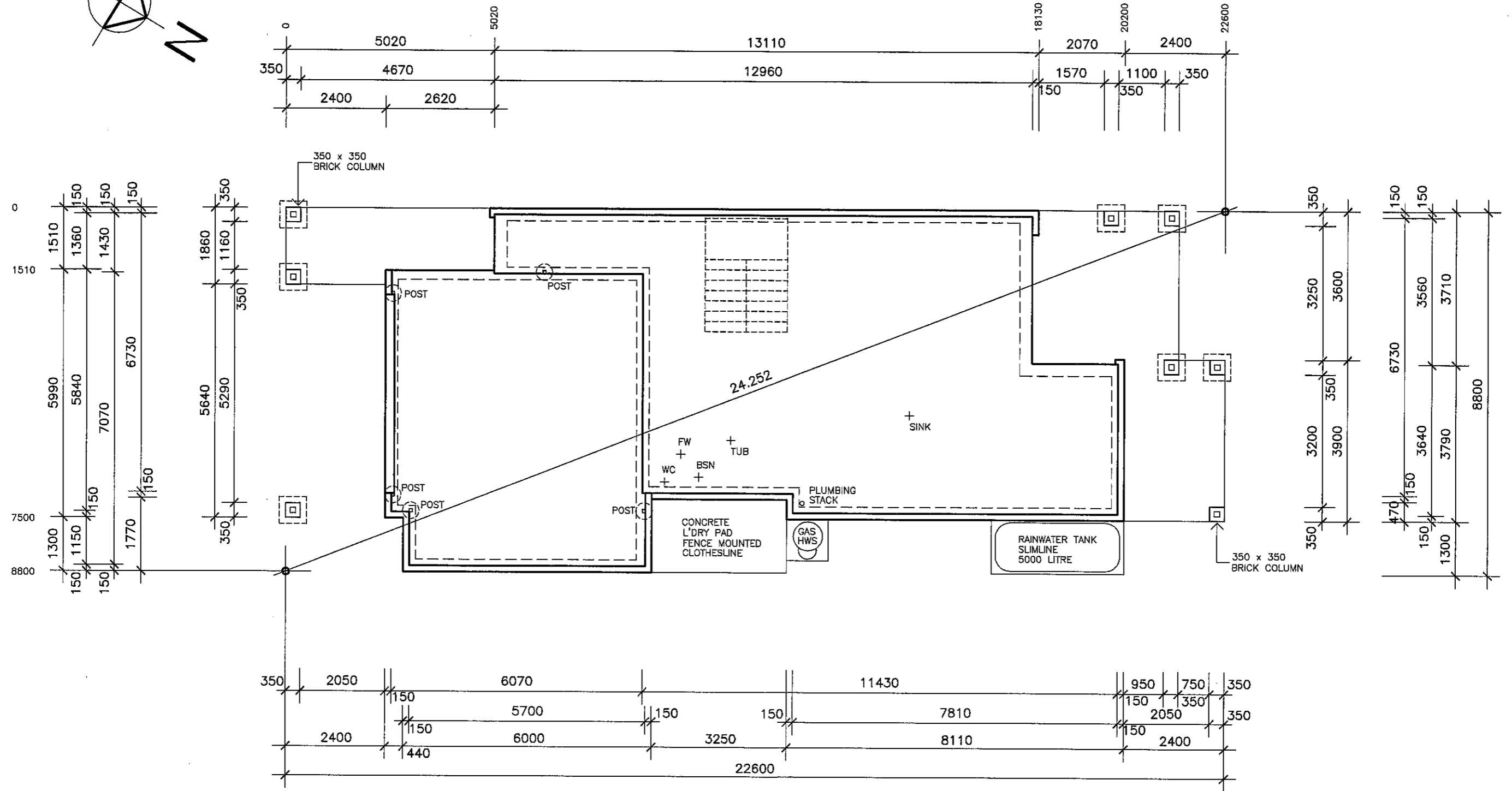
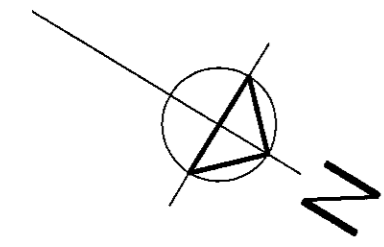
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SCALE: AS SHOWN

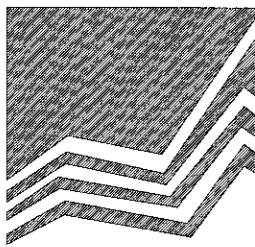
SHEET No.

5 OF 11

NOTE:
 SUB - FLOOR TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS. 3660.1
 THIS DRAWING TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS



SLAB LAYOUT PLAN
 SCALE 1:100



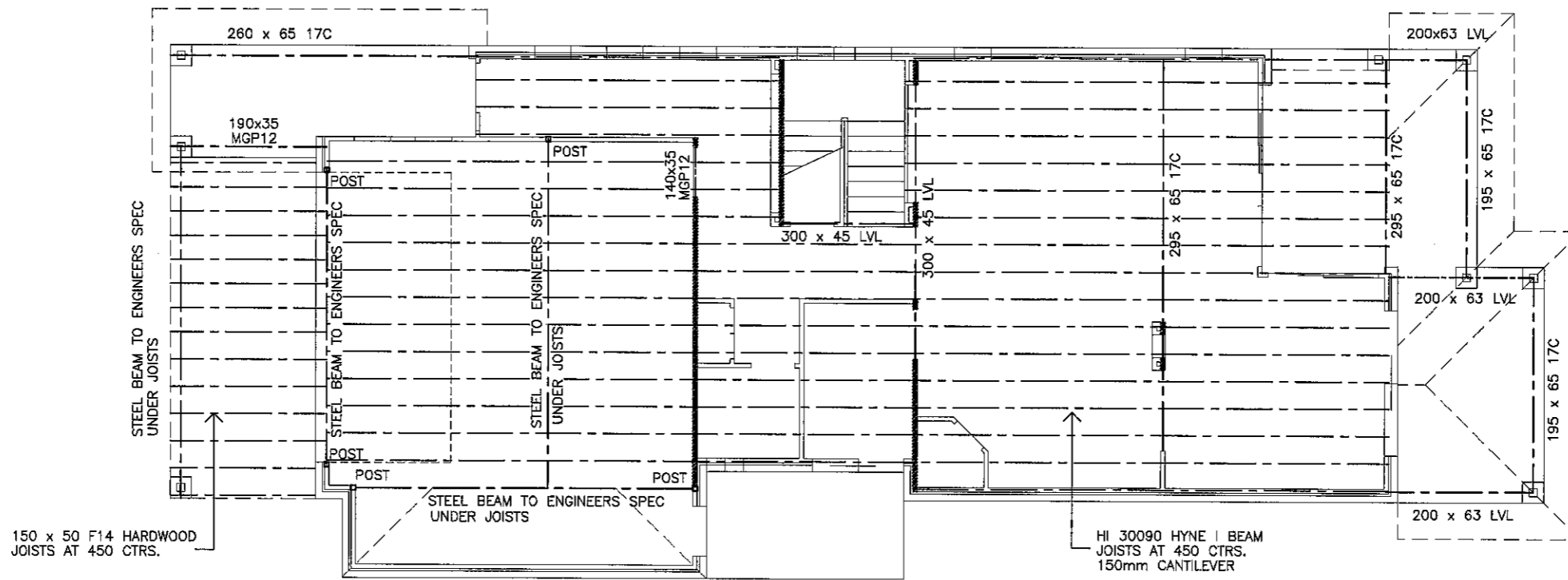
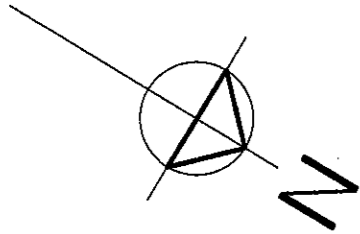
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| AMENDMENTS | | |
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| ISSUE | DATE | DESCRIPTION |
| A | 23/04/10 | WORKING DRAWING |
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|---|
| CLIENT MANCOP QUALITY HOMES |
| PROJECT PROPOSED RESIDENCE |
| LOCATION LOT 26 AUGUSTA PARADE, NORTH LAKES |

| | |
|----------------|-------------------------------|
| DRAWN: A.WATTS | CHECKED: <i>AW</i> 27/4/10 |
| DATE: 23/04/10 | SCALE: AS SHOWN |
| JOB NO. | SHEET No. 6 OF 11 |



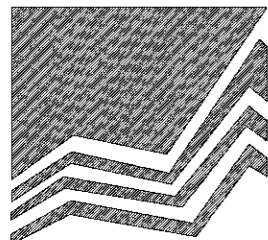
JOIST LAYOUT PLAN

SCALE 1: 100

NOTE:

LOAD BEARING WALLS SHOWN ARE HATCHED

BEAMS SHOWN TO BE CONCEALED WITHIN FLOOR BUTT JOINTED TO BEAMS (UNLESS SPECIFIED)



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QUALITY HOMES

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AMENDMENTS

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|-------|----------|-----------------|
| A | 23/04/10 | WORKING DRAWING |
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CLIENT

MANCORP QUALITY HOMES

PROJECT

PROPOSED RESIDENCE

LOCATION

**LOT 26
AUGUSTA PARADE, NORTH LAKES**

DRAWN: A.WATTS

DATE: 23/04/10

JOB NO.

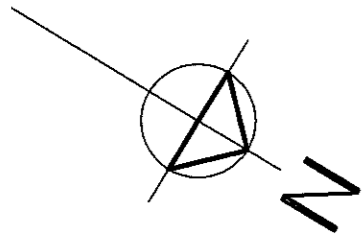
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AW 23/4/10

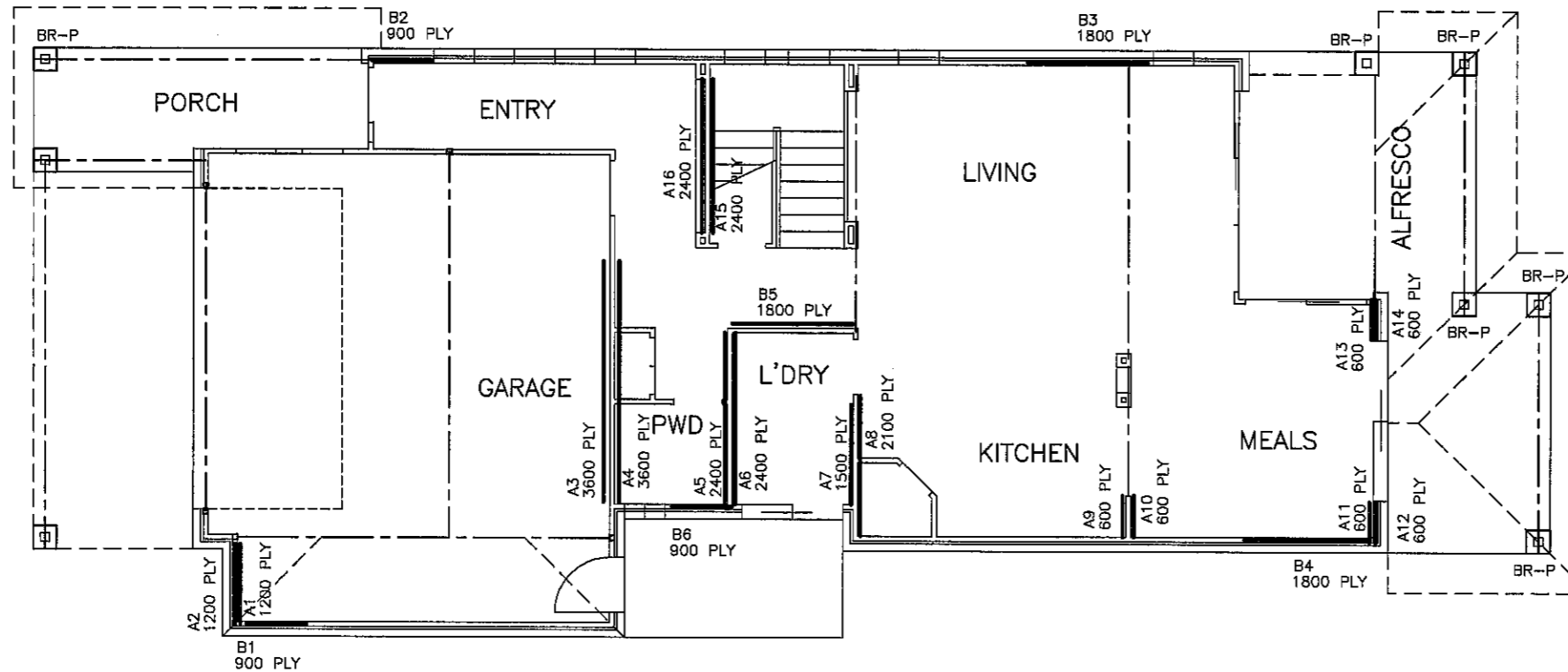
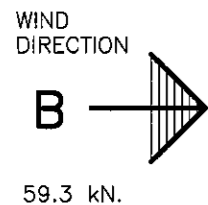
SCALE: AS SHOWN

SHEET No.

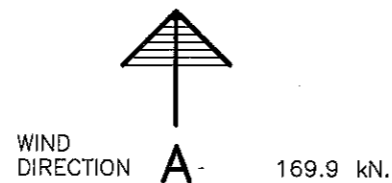
7 OF 11



NOTE:
PLYWOOD BRACING PANEL LESS THAN 900mm IN WIDTH TO HAVE ADDITIONAL FIXINGS OF 1/M10 COACH SCREW AT EACH CORNER OF THE PANEL OR 1/M12 ROD AT EACH END OF PANEL



| BRACING DIRECTION A | | | | |
|------------------------------------|------|--------|---------|---------|
| RESISTANCE IN HORIZONTAL DIRECTION | | | | |
| CODE | TYPE | LENGTH | VALUE | TOTAL |
| A1 | PLY | 1200 | 6.0kN/m | 7.2 |
| A1 | PLY | 1200 | 6.0kN/m | 7.2 |
| A3 | PLY | 3600 | 6.0kN/m | 21.6 |
| A4 | PLY | 3600 | 6.0kN/m | 21.6 |
| A5 | PLY | 2400 | 6.0kN/m | 14.4 |
| A6 | PLY | 2400 | 6.0kN/m | 14.4 |
| A7 | PLY | 1500 | 6.0kN/m | 9.0 |
| A8 | PLY | 2100 | 6.0kN/m | 12.6 |
| A9 | PLY | 600 | 6.0kN/m | 3.6 |
| A10 | PLY | 600 | 6.0kN/m | 3.6 |
| A11 | PLY | 600 | 6.0kN/m | 3.6 |
| A12 | PLY | 600 | 6.0kN/m | 3.6 |
| A13 | PLY | 600 | 6.0kN/m | 3.6 |
| A14 | PLY | 600 | 6.0kN/m | 3.6 |
| A15 | PLY | 2400 | 6.0kN/m | 14.4 |
| A16 | PLY | 2400 | 6.0kN/m | 14.4 |
| BR-P 6 No. | | | 2.2kN/m | 13.2 |
| RESISTANCE PROVIDED | | | | 171.6kN |
| RESISTANCE REQUIRED | | | | 169.9kN |

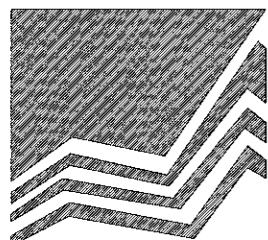


BRACING LEGEND

- BR-P 350 x 350 BRICK PIER WITH M12 ROD IN GROUT FILL 2.2kN/M
- MAB GALVANISED METAL ANGLE DIAGONAL BRACE 1.5kN/M
- PLY STRUCTURAL PLYWOOD 4mm F14 WITH ANCHOR BOLTS AND NAILING AT 50mm CTRS TOP & BOTTOM PLATES 300mm CTRS TO INTERMEDIATE STUDS 6.0kN/M

| BRACING DIRECTION B | | | | |
|------------------------------------|------|--------|---------|--------|
| RESISTANCE IN HORIZONTAL DIRECTION | | | | |
| CODE | TYPE | LENGTH | VALUE | TOTAL |
| B1 | PLY | 900 | 6.0kN/m | 5.4 |
| B2 | PLY | 900 | 6.0kN/m | 5.4 |
| B3 | PLY | 1800 | 6.0kN/m | 10.8 |
| B4 | PLY | 1800 | 6.0kN/m | 10.8 |
| B5 | PLY | 1800 | 6.0kN/m | 10.8 |
| B6 | PLY | 900 | 6.0kN/m | 5.4 |
| BR-P 6 No. | | | 2.2kN/m | 13.2 |
| RESISTANCE PROVIDED | | | | 61.8kN |
| RESISTANCE REQUIRED | | | | 59.3kN |

GROUND FLOOR BRACING DETAIL (N3)
SCALE 1: 100



MANCORP
QUALITY HOMES

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NOTE :

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AMENDMENTS

| ISSUE | DATE | DESCRIPTION |
|-------|----------|-----------------|
| A | 23/04/10 | WORKING DRAWING |

CLIENT

MANCORP QUALITY HOMES

PROJECT

PROPOSED RESIDENCE

LOCATION

LOT 26
AUGUSTA PARADE, NORTH LAKES

DRAWN: A.WATTS

DATE: 23/04/10

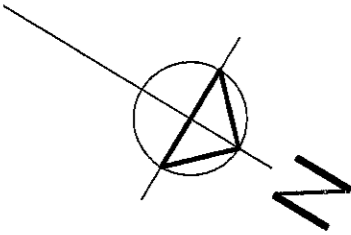
JOB NO.

CHECKED:

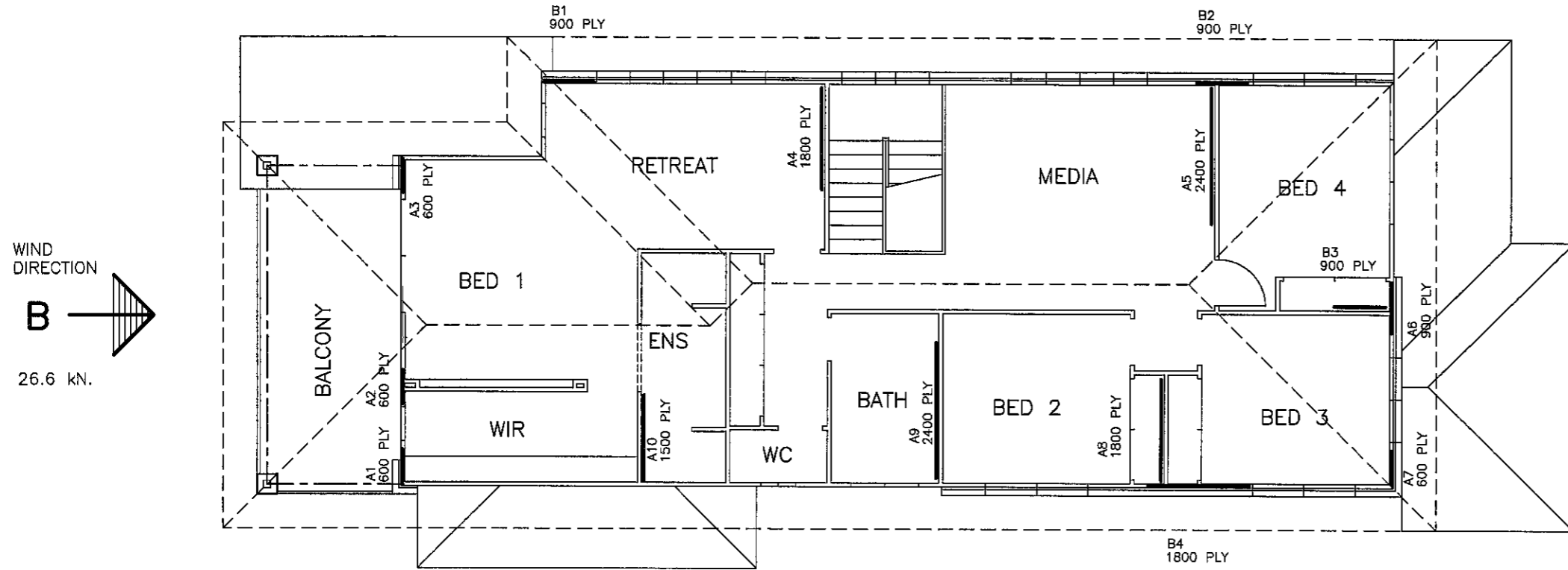
SCALE: AS SHOWN

SHEET No.

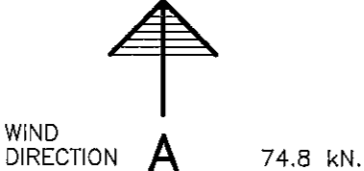
8 OF 11



NOTE:
 PLYWOOD BRACING PANEL LESS THAN 900mm IN WIDTH
 TO HAVE ADDITIONAL FIXINGS OF 1/M10 COACH SCREW
 AT EACH CORNER OF THE PANEL OR 1/M12 ROD AT
 EACH END OF PANEL



| BRACING DIRECTION A | | | | |
|------------------------------------|------|--------|---------|--------|
| RESISTANCE IN HORIZONTAL DIRECTION | | | | |
| CODE | TYPE | LENGTH | VALUE | TOTAL |
| A1 | PLY | 600 | 6.0kN/m | 3.6 |
| A2 | PLY | 600 | 6.0kN/m | 3.6 |
| A3 | PLY | 600 | 6.0kN/m | 3.6 |
| A4 | PLY | 1800 | 6.0kN/m | 10.8 |
| A5 | PLY | 2400 | 6.0kN/m | 14.4 |
| A6 | PLY | 900 | 6.0kN/m | 5.4 |
| A7 | PLY | 600 | 6.0kN/m | 3.6 |
| A8 | PLY | 1800 | 6.0kN/m | 10.8 |
| A9 | PLY | 2400 | 6.0kN/m | 14.4 |
| A10 | PLY | 1500 | 6.0kN/m | 9.0 |
| RESISTANCE PROVIDED | | | | 79.2kN |
| RESISTANCE REQUIRED | | | | 74.8kN |

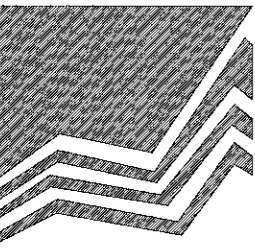


BRACING LEGEND

- BR-P 350 x 350 BRICK PIER WITH M12 ROD IN GROUT FILL 2.2kN/M
- MAB GALVANISED METAL ANGLE DIAGONAL BRACE 1.5kN/M
- PLY STRUCTURAL PLYWOOD 4mm F14 WITH ANCHOR BOLTS AND NAILING AT 50mm CTRS TOP & BOTTOM PLATES 300mm CTRS TO INTERMEDIATE STUDS 6.0kN/M

| BRACING DIRECTION B | | | | |
|------------------------------------|------|--------|---------|--------|
| RESISTANCE IN HORIZONTAL DIRECTION | | | | |
| CODE | TYPE | LENGTH | VALUE | TOTAL |
| B1 | PLY | 900 | 6.0kN/m | 5.4 |
| B2 | PLY | 900 | 6.0kN/m | 5.4 |
| B3 | PLY | 900 | 6.0kN/m | 5.4 |
| B4 | PLY | 1800 | 6.0kN/m | 10.8 |
| RESISTANCE PROVIDED | | | | 27.0kN |
| RESISTANCE REQUIRED | | | | 26.6kN |

UPPER FLOOR BRACING DETAIL (N3)
 SCALE 1: 100



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NOTE :
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| AMENDMENTS | | |
|------------|----------|-----------------|
| ISSUE | DATE | DESCRIPTION |
| A | 23/04/10 | WORKING DRAWING |

CLIENT
MANCOP QUALITY HOMES
 PROJECT
PROPOSED RESIDENCE
 LOCATION
**LOT 26
 AUGUSTA PARADE, NORTH LAKES**

DRAWN: A.WATTS
 DATE: 23/04/10
 JOB NO.
 CHECKED: *gao* 27/4/10
 SCALE: AS SHOWN
 SHEET No.
 9 OF 11

TIEDOWN SCHEDULE – N3 AREA

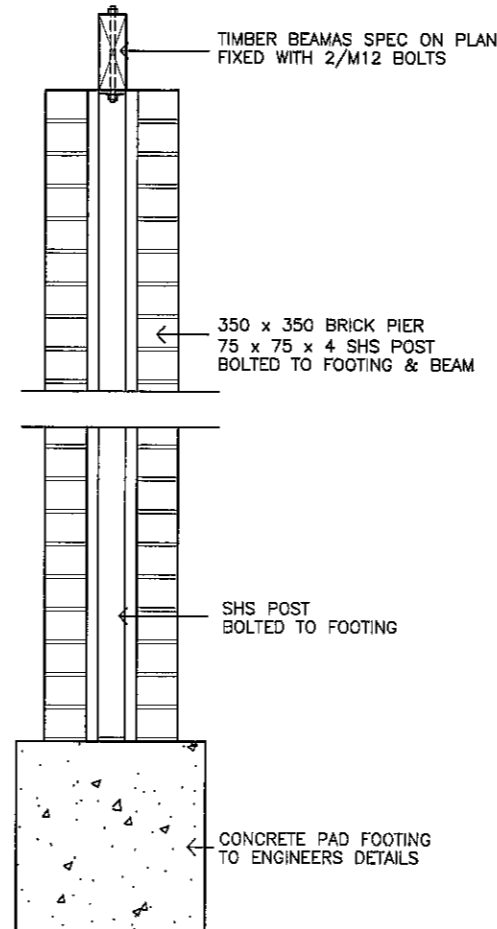
| TIMBER JOINT GROUP: JD4 WIND CLASSIFICATION: N3 | ROOF MATERIAL & WEIGHT: CONC TILE 72kg/sqm ROOF LOAD WIDTH: 4.400m | ROOF PITCH: 25° WALL FRAMING HEIGHT: 2750 |
|---|---|--|
| CONNECTION | DESCRIPTION | SPACING |
| TOP PLATE TO TRUSS OR RAFTER | ROOF TRUSSES TO BE FIXED TO TOP PLATES IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS & SUPPLY | PER CONNECTION |
| TOP AND BOTTOM PLATE TO STUD | M12 RODS x 1200 CTRS | 1200 CENTRES |
| NOGGING TO STUDS | 2/75mm 3.05mm NAIL SKEWED OR THROUGH NAILED | MAX 1350 CTRS |
| BOTTOM PLATE TO SLAB | M12 RODS x 1200 CTRS | 1200 CENTRES |
| NOTE: PROVIDE M12 RODS EITHER SIDE OF BRACING PANELS LESS THAN 900mm WIDE PROVIDE M12 RODS EITHER SIDE OF OPENINGS 3000mm OR GREATER. | | |

TIMBER FRAMING SCHEDULE

| TIMBER JOINT GROUP: JD4 WIND CLASSIFICATION: N3 | ROOF MATERIAL: CONC.TILE 72kg/m ROOF LOAD WIDTH: 4.400m | ROOF PITCH: 25° WALL FRAMING HEIGHT: 2.7m | | |
|--|--|--|-------|-------------------|
| MEMBER | POSITION | SIZE | GRADE | SPACING |
| LOAD-BEARING | | | | |
| GROUND FLOOR 70mm | | | | |
| TOP PLATES | EXTERNAL/INTERNAL STUD WALL | 2/70 x 35 | MGP12 | M12 ROD 1200 CTRS |
| STUD (NOT NOTCHED) | " " " | 70 x 35 | MGP12 | 450 CTRS |
| BOTTOM PLATES | " " " | 70 x 35 | MGP10 | M12 ROD 1200 CTRS |
| NOGGING | " " " | 70 x 35 | MGP10 | 1350 CTRS |
| LOAD-BEARING | | | | |
| UPPER FLOOR 70mm | | | | |
| TOP PLATES | EXTERNAL STUD WALL | 2/70 x 35 | MGP12 | M12 ROD 1200 CTRS |
| STUD (NOT NOTCHED) | " " " | 70 x 35 | MGP12 | 450 CTRS |
| BOTTOM PLATES | " " " | 2/70 x 35 | MGP12 | M12 ROD 1200 CTRS |
| NOGGING | " " " | 70 x 35 | MGP10 | 1350 CTRS |
| NON LOAD-BEARING | | | | |
| TOP PLATES | INTERNAL STUD WALL | 70 x 35 | MGP10 | NOMINAL FIXING |
| STUD (NOT NOTCHED) | " " " | 70 x 35 | MGP10 | 450 CTRS |
| BOTTOM PLATES | " " " | 70 x 35 | MGP10 | NOMINAL FIXING |
| NOGGING | " " " | 70 x 35 | MGP10 | 1350 CTRS |
| STUDS SIDES OF OPENINGS | OPENING TO 1300 | 2/STUD | MGP12 | |
| " " " | " 1300 TO 2200 | 3/STUD | MGP12 | |
| " " " | " 2200 TO 3200 | 4/STUD | MGP12 | |
| " " " | " 3200 TO 4400 | 4/STUD | MGP12 | |

BRICK LINTELS

| OPENING WIDTH (mm) | BRICKWALL UP TO 1500mm HEIGHT | BRICKWALL UP TO 1500mm HEIGHT |
|--------------------|-------------------------------|-------------------------------|
| 900 | 75 x 100 x 6 | 75 x 100 x 6 |
| 1200 | 75 x 100 x 6 | 75 x 100 x 6 |
| 1500 | 75 x 100 x 6 | 100 x 100 x 6 |
| 1800 | 100 x 100 x 6 | 100 x 100 x 6 |
| 2100 | 100 x 100 x 6 | 100 x 100 x 6 |
| 2400 | 100 x 100 x 6 | 150 x 90 x 8 |

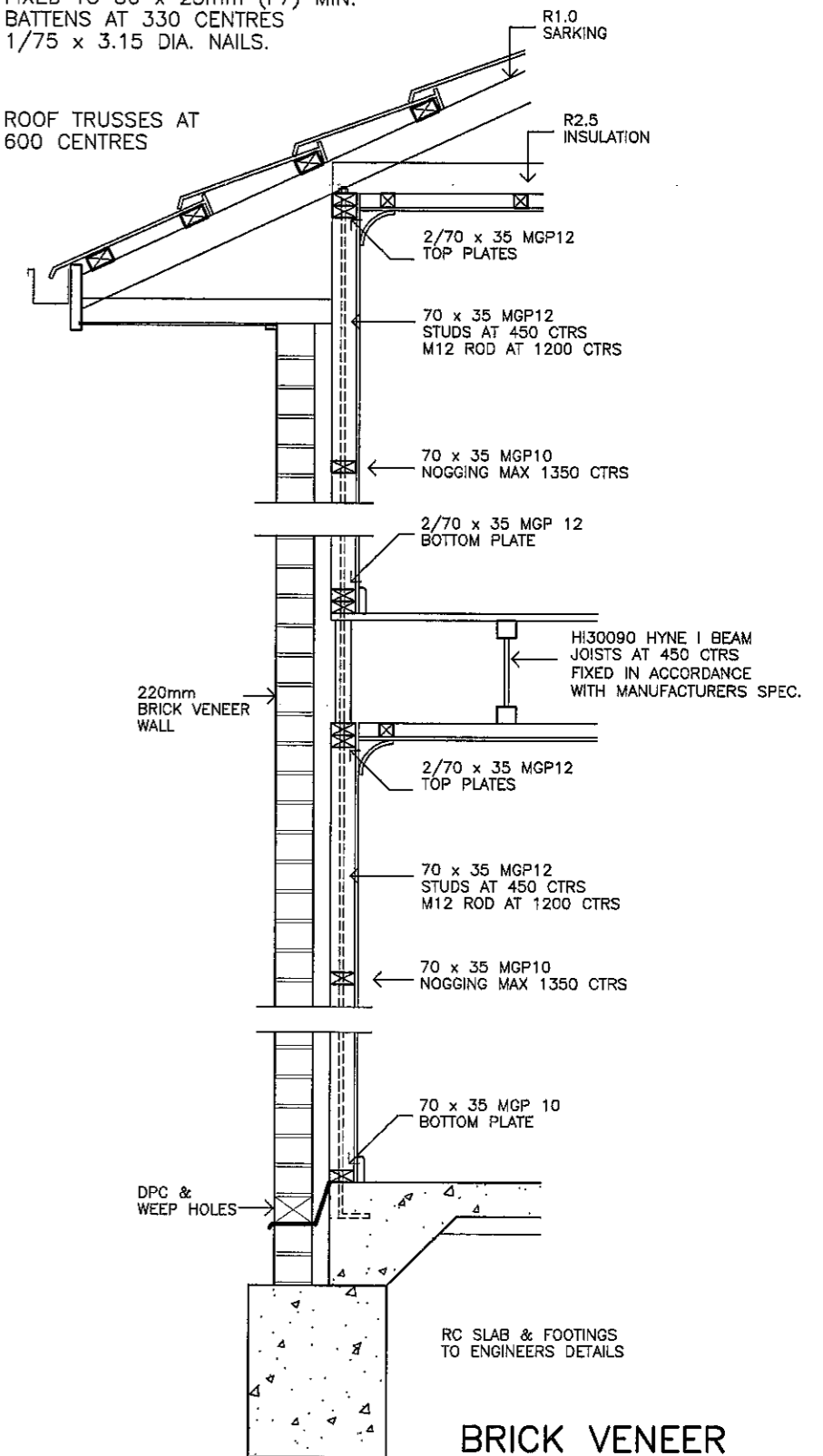


350 x 350
BRICK PIER
SCALE 1:20

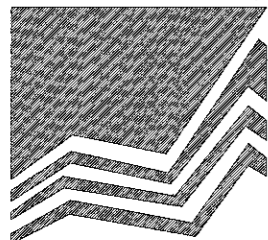
METHOD OF TIEDOWN (N3)

SELECTED CONCRETE ROOF TILES
FIXED TO 50 x 25mm (F7) MIN.
BATTENS AT 330 CENTRES
1/75 x 3.15 DIA. NAILS.

ROOF TRUSSES AT
600 CENTRES



BRICK VENEER
25° CONC. TILE
SCALE 1:20



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AMENDMENTS

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| A | 23/04/10 | WORKING DRAWING |
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CLIENT

MANCOP QUALITY HOMES

PROJECT

PROPOSED RESIDENCE

LOCATION

LOT 26
AUGUSTA PARADE, NORTH LAKES

DRAWN: A.WATTS

DATE: 23/04/10

JOB NO.

CHECKED:

SCALE: AS SHOWN

SHEET No.

10 OF 11

GENERAL NOTES

ALL CONSTRUCTION SHALL CONFORM STRICTLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA, THE QUEENSLAND BUILDING ACT 1975-1990 TOGETHER WITH THE BUILDING AMENDMENTS ACT 1991, THE QUEENSLAND HOME BUILDING CODE AND THE AUSTRALIAN DOMESTIC CONSTRUCTION MANUAL - QUEENSLAND EDITION INCLUSIVE OF ANY AMENDMENTS & ATTACHMENTS PUBLISHED AFTER THE RELEVANT DATES OF PROCLAMATION OR RELEASE AS MAY BE THE CASE.

ALL MATERIALS USED FOR THE CONSTRUCTION WORK COVERED BY THESE PLANS SHALL BE NEW AND TOP QUALITY.

ALL TIMBER CONSTRUCTION SHALL BE IN ACCORDANCE WITH AS.1684.2-2006 RESIDENTIAL TIMBER FRAMED CONSTRUCTION.

ALL DIMENSIONS AND LEVELS MUST BE CHECKED BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS, ON OR OFF SITE.

ALL WET AREAS TO COMPLY WITH AS.3740-2004.

WC DOORS OPENING INWARDS TO BE FITTED WITH LIFT-OFF HINGES TO ALLOW THE DOOR TO BE REMOVED WHEN IN A CLOSED POSITION.

BRICKWORK

110mm BRICKWORK ATTACHED TO FRAME WITH APPROVED TIES SPACED HORIZONTALLY AND VERTICALLY TO AS.3700. FLASHING/DAMP COURSE TO BE PLACED BELOW FLOOR SLAB LEVEL TO PERIMETER OF BUILDING. WEEP HOLES TO BE PLACED EVERY 900mm CENTRES HORIZONTALLY AT DAMP COURSE LEVEL AND AT OTHER LEVELS WHERE THERE IS HORIZONTAL FLASHINGS.

ALL BRICKWORK, BRICK TIES AND MORTAR IS TO BE AS.3700.

ALL WINDOWS & DOORS IN BRICKWORK TO HAVE FLASHING & BRICK SILLS.

JOINERY

ALL JOINERY TO BE ALUMINIUM FRAMED WITH POWDERCOATING TO CONFORM TO AS.2047 & AS.1285.

NO LOAD IS TO BEAR ON FRAMES.

KEEP ALL FRAMES & GLAZING CLEAR OF CONCRETE, MORTAR & SOLVENTS.

ALL SLIDING GLASS DOORS SHALL BE WITHOUT MID-RAILS.

ALL HINGED DOORS (INCLUDING FRONT DOOR) TO BE AS NOMINATED ON CONTRACT.

LININGS

INTERNAL LININGS TO BE PLASTERBOARD, 10mm TO WALLS & 13mm OR 10mm ABLE TO SPAN 600mm TO CEILINGS.

10mm GAP TO BE LEFT BETWEEN FLOOR & SHEETING.

FIXING, CONTRACTION JOINT LOCATIONS & LEVEL OF FINISH IS TO BE AS PER AS/NZ.2589.1-1997 OR MANUFACTURERS SPECIFICATION.

CORNICE TYPE AS PER CONTRACT.

WET AREA LININGS TO BE VILLABOARD OR SIMILAR APPROVED WATER RESISTANT GRADED LININGS.

METAL CEILING BATTENS AT MAX. 600mm CENTRES TO BE USED THROUGHOUT.

SOFFIT LININGS

SOFFITS ARE TO BE BATTENED WITH 50 x 38mm TIMBER & SHEETED WITH 'HARDITEX' 4.5mm F.C. SHEETING.

ROOFING

CONCRETE ROOF TILES FIXED TO BATTENS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION FOR N3 AREA

RAINWATER GUTTERS

GUTTERS FIXED TO METAL FASCIA GUTTER TO FALL TO 90mm DOWNPIPES FIXED TO WALL.

FASCIA & GUTTER SHALL BE COLORBOND AS PER CONTRACT.

DOWNPIPES TO BE ROUND 90mm PVC

THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH AS.3500, AS.2870 AND BCA

HOT WATER SERVICE

COLD WATER SERVICE LEADING TO HWS TO BE R0.3 LAGGED FOR FIRST 500mm OUT FROM HWS.

HOT WATER SERVICE LEADING FROM HWS TO ALL FIXTURES TO BE R0.3 LAGGED FOR ALL EXPOSED PIPEWORK ADJACENT TO HWS & ALL PIPEWORK IN ROOF VOID EXCEPT FOR ROOFS WITH INSULATION BLACKET/BATTS UNDER ROOFING MATERIAL.

TERMITE CONTROL

TERMITE CONTROL TO BE IN ACCORDANCE WITH AS.3660.1-2000 & BCA HOUSING PROVISIONS PART 3.1.3-TERMITE RISK MANAGEMENT.

TERMITE PROTECTION TO BE PROVIDED AS SPECIFIED. PERIMETER BARRIER AND COLLARS TO ALL SLAB PENETRATIONS.

TERMITE SYSTEM TO BE INSPECTED AND MAINTAINED AS ADVISED BY INSTALLERS, MANUFACTURER OR EVERY 12 MONTHS WHICHEVER IS THE LESSER. INSPECTIONS TO BE CARRIED OUT BY COMPETENT PERSONS.

TWO DURABLE NOTICES ARE TO BE FIXED BY BUILDER IN A PROMINENT PLACE, (EG METER BOX AND KITCHEN CUPBOARD). NOTICE IS TO SHOW METHOD OF PROTECTION, DATE OF INSTALLATION AND MANUFACTURERS RECOMMENDATION FOR FUTURE INSPECTIONS.

BUILDER TO DISCUSS AND ADVISE OWNER/CLIENT ON METHOD OF TERMITE CONTROL TO ENSURE UNDERSTANDING OF OWNERS OBLIGATIONS.

CONCRETE SLAB AND FOUNDATIONS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS.2870.

ROOF FRAMEWORK

PREFABRICATED TRUSSES AT ROOF PITCH SPECIFIED ON PLAN AT 600mm CENTRES.

ENTIRE ROOF TO BE TRUSS CONSTRUCTION UNLESS OTHERWISE INDICATED ON FLOOR/FRAMING PLAN.

TRUSSES TO BE ENGINEER DESIGNED AND FIXED AND BRACED AS PER THE MANUFACTURERS REQUIREMENTS.

THE TRUSS MANUFACTURER SHALL PROVIDE ALL NECESSARY DOCUMENTATION AND CERTIFICATION AS REQUIRED FOR THE CONSTRUCTION/ERECTION OF THE ROOF FRAMING AND THE APPROVAL BY COUNCIL/PRIVATE CERTIFIER.

WHERE TRUNCATED AND GIRDER TRUSSES OCCUR THE TRUSS MANUFACTURER IS TO CHECK THE ADEQUACY OF LINTELS SUPPORTING THEM AND THE TIE-DOWN REQUIREMENTS.

TRUSS MANUFACTURER MUST NOTIFY BUILDER OF ANY CHANGE TO LINTEL OR TIE-DOWN DESIGN AT TRUSS DESIGN STAGE. TRUSS MANUFACTURER TO NOMINATE THE NUMBER OF STUDS REQUIRED UNDER TRUNCATED AND GIRDER TRUSSES.

BOTTOM CHORD BINDERS AS PER TRUSS MANUFACTURERS SPECIFICATION AND AT MAXIMUM 3000mm CENTRES.

ROOFING MATERIAL TO BE FIXED TO MANUFACTURERS SPECIFICATIONS FOR TERRAIN CATEGORY, PROFILE AND FINISH AS PER CONTRACT.

QUEENSLAND SUSTAINABLE HOUSE CODE

SHOWER ROSES

SHOWER ROSES TO BE AAA RATING ASSESSED AGAINST AS/NZ 6400-2004 OR A3 STAR RATING UNDER THE WATER EFFICIENCY LABELLING SCHEME (WELS)

TOILET CISTERNS

TOILET CISTERNS TO HAVE DUAL FLUSH CAPACITY THAT DOES NOT EXCEED 4.5 LITRES ON FULL FLUSH AND 3 LITRES ON HALF FLUSH. TO MEET 4 STAR RATING

WATER SUPPLY

WHERE MAIN WATER PRESSURE AT THE OUTLET WITHIN THE BOUNDARY EXCEEDS 500kpa A WATER PRESSURE LIMITING DEVICE TO BE INSTALLED TO ENSURE PRESSURE REMAINS BELOW 500kpa. A 5000 LITRE MINIMUM RAINWATER TANK TO BE INSTALLED TO SERVICE WATER CLOSETS AND WASHING MACHINE IN ACCORDANCE WITH PART 25 QUEENSLAND DEVELOPMENT CODE AND LOCAL AUTHORITIES REQUIREMENTS.

HOT WATER

PROVIDE GAS HOT WATER SYSTEM, APPROVED ELECTRICAL HEAT PUMP SYSTEM OR SOLAR HOT WATER SYSTEM WITH A FIVE STAR ENERGY RATING.

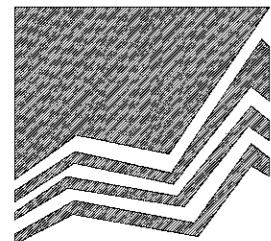
NOTE: ENGINEERS DRAWINGS TAKE PRECEDENCE OVER ARCH. DRAWINGS

WEATHER PROTECTION TO EXTERIOR MEMBERS AS PER MANUFACTURERS SPECIFICATION

LINTELS HAVE BEEN DESIGNED USING A NOTIONAL TRUSS LAYOUT. PROVIDE FINAL TRUSS LAYOUT FOR SIZE CHECK OF LINTELS SUPPORTING GIRDER TRUSSES

A TERMITE BARRIER OR COMBINATION OF BARRIERS TO BE INSTALLED IN ACCORDANCE WITH AS 3660.1 SUBJECT TO CLAUSE 3.1.3.0(a) OR 3.1.3.3 FOR CONCRETE SLABS ON GROUND OR 3.1.3.4. FOR SUSPENDED FLOORS.

GENERAL NOTES CONCRETE TILE ROOF



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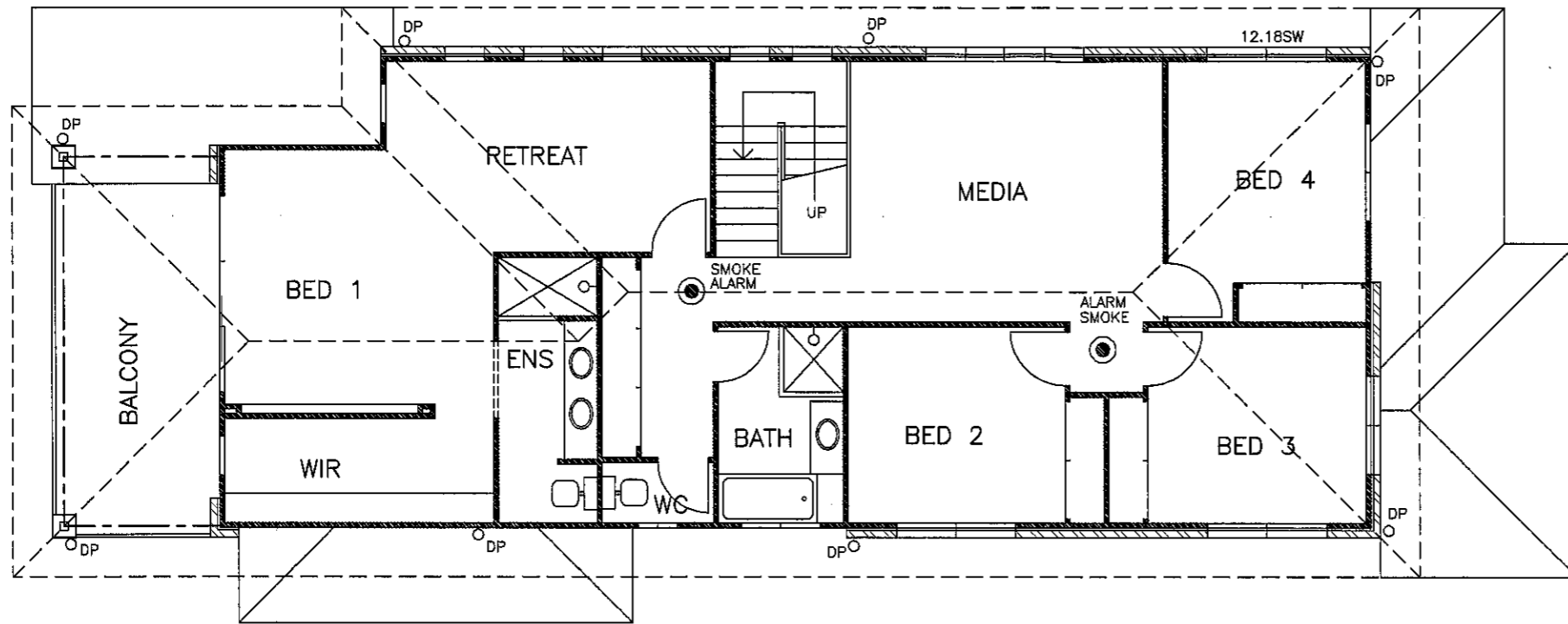
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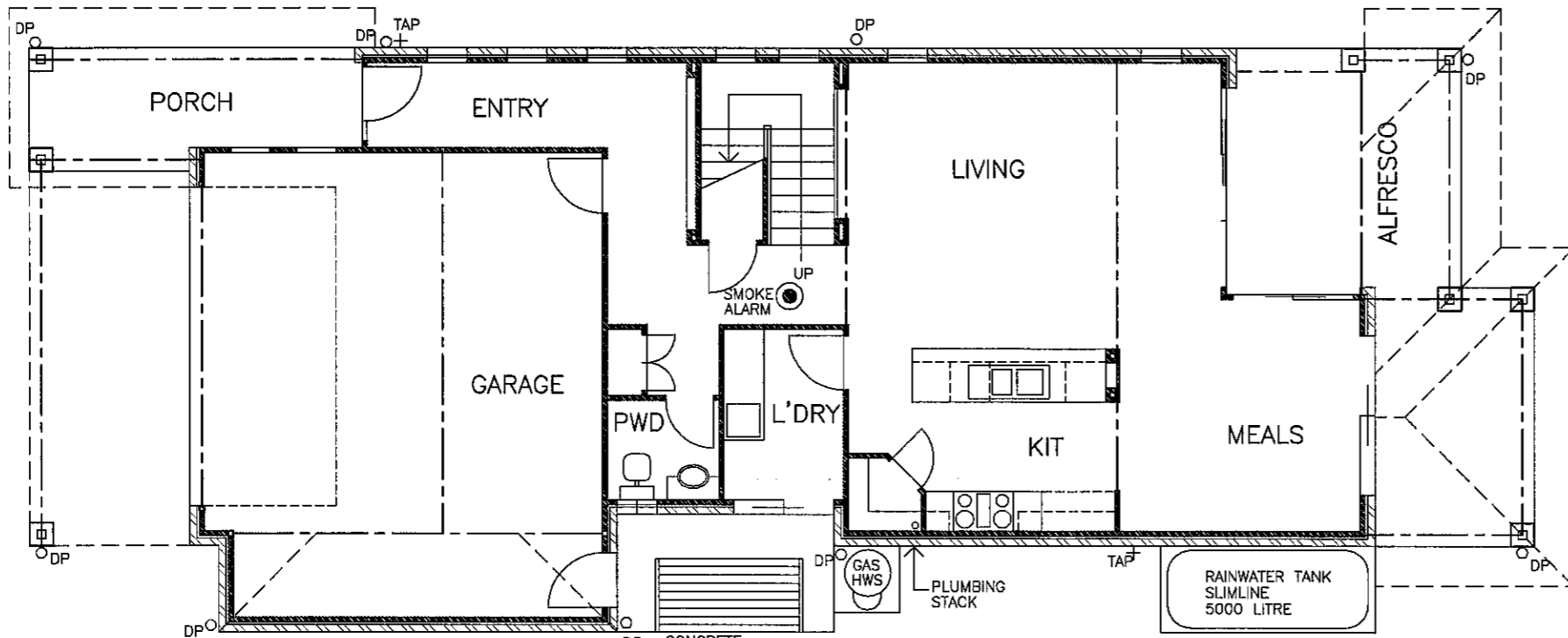
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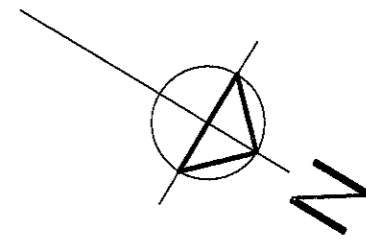
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UPPER FLOOR



GROUND FLOOR

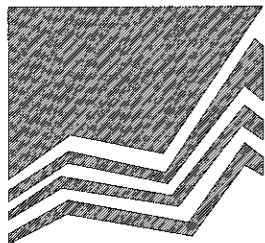


ELECTRICAL LEGEND

- LIGHT POINT
- ▭ FLUORESCENT LIGHT
- ⦿ SINGLE POWER OUTLET
- ⦿⦿ DOUBLE POWER OUTLET
- ⦿ TV POINT
- ⊗ EXHAUST FAN
- ⊗ CEILING FAN
- ◁ TEL TELEPHONE OUTLET
- WALL MOUNTED LIGHT POINT
- ⊕ DOWN LIGHT
- WATERPROOF FLOOD LIGHT
- ⊗ HOT WATER UNIT
- ▭ METRE BOX
- ⦿ SMOKE ALARM

PLUMBING & ELECTRICAL PLAN

SCALE 1: 100



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Additional 1