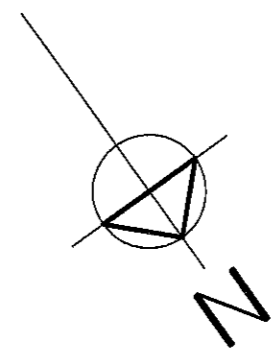
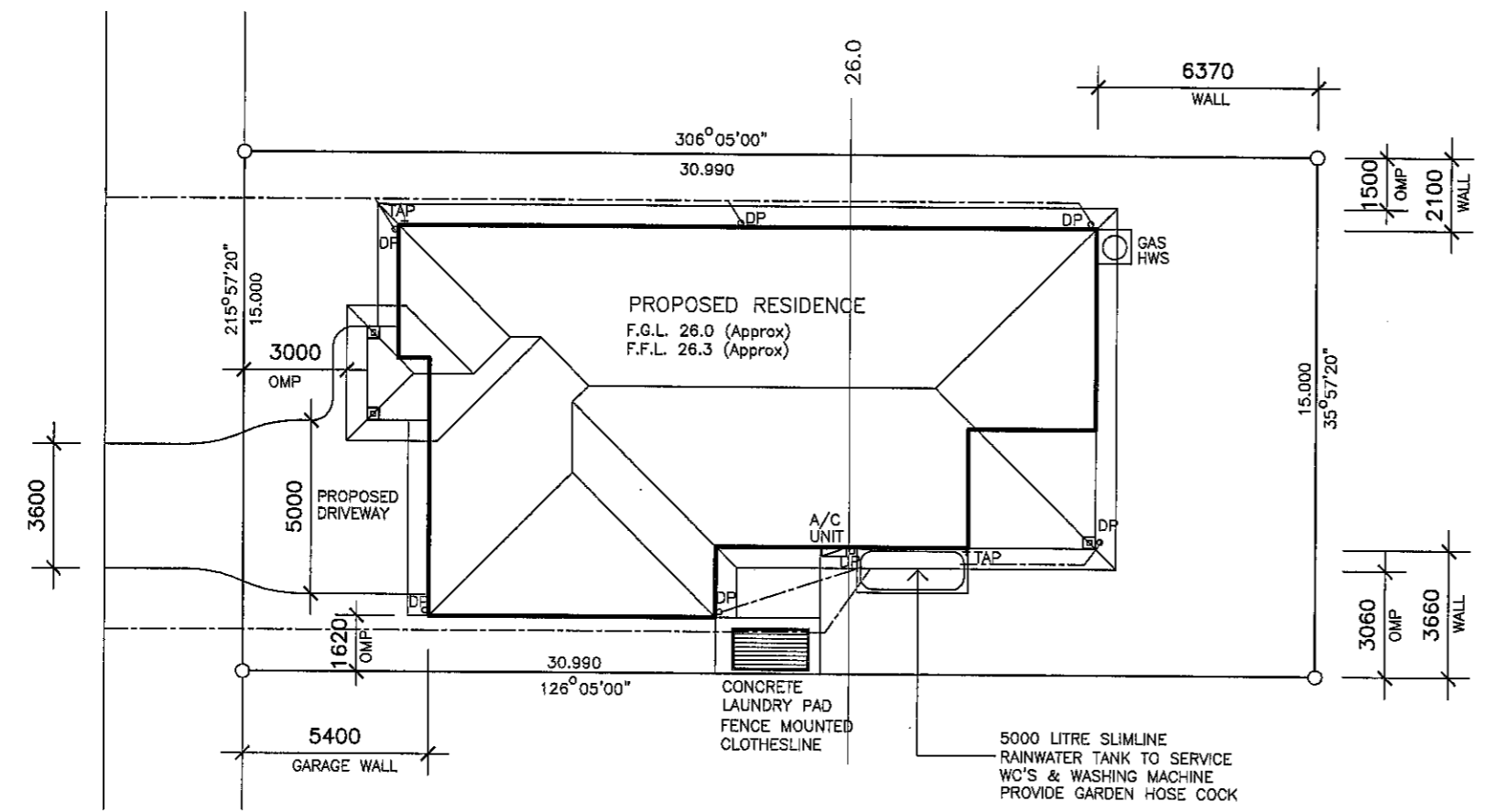




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WOODLAND COURT



NOTE :  
 \* ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA AND AS. 1684.2 - 1999 TIMBER FRAMING MANUAL.  
 \* WINDOW CODES DENOTE HEIGHT x WIDTH e.g. 1218 - 1200 HIGH x 1800 WIDE.  
 \* DIMENSIONS TO BE VERIFIED BY CONTRACTORS PRIOR TO PREPARATION OF SHOP DRAWINGS OR MANUFACTURING. DIMENSIONS TAKE PREFERENCE OVER SCALE.

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CLIENT  
**MANCORP QUALITY HOMES**

PROJECT  
**PROPOSED RESIDENCE**

LOCATION  
**LOT 249  
 WOODLAND COURT,  
 NORTH QUARTER.**

AMENDMENTS

ISSUE	DATE	DESCRIPTION
A	04/04/11	PRELIMINARY

NOTE  
 DRAWING SYMBOLS USED ON THIS DRAWING ARE NOT TRUE REPRESENTATION OF ITEMS INCLUDED IN CONTRACT. REFER TO CONTRACT FOR SPECIFIED ITEMS

NOTE  
 STORMWATER TO DISCHARGE INTO EXIST. STORMWATER LINES & RETICULATE TO EXIST. LAWFULL POINT OF DISCHARGE  
 ALL STORMWATER LINES TO HAVE MINIMUM 100mm COVER.  
 STORMWATER LINES SHOWN ARE INDICATIVE ONLY  
 THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH AS.3500, AS.2870 AND BCA  
 LEVELS SHOWN REFERENCED TO AHD

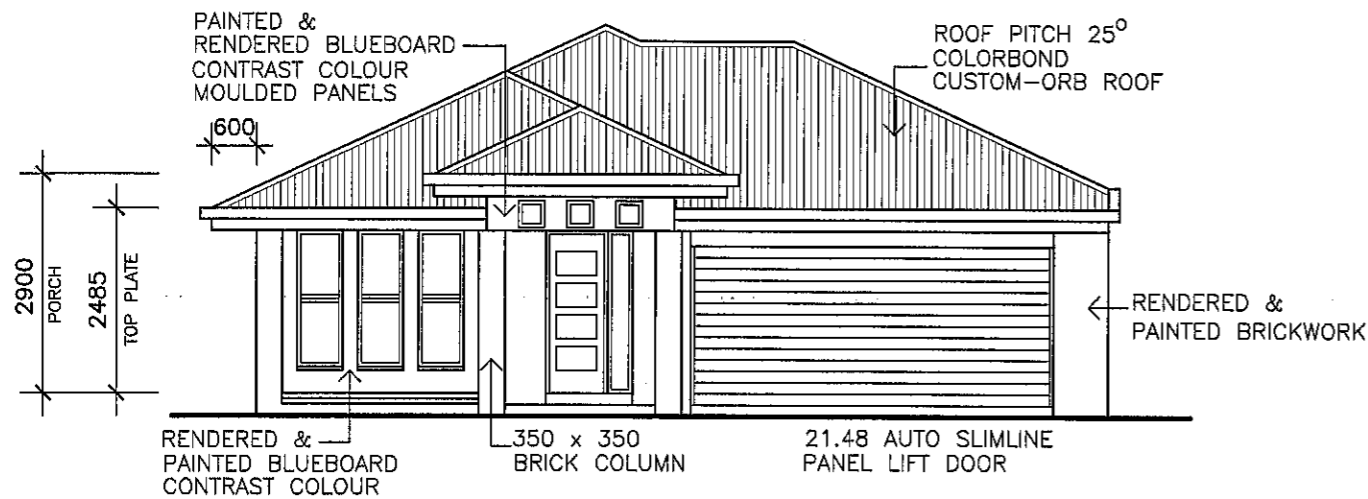
AREA	
LIVING	185.4
PORCH	4.0
ALFRESCO	12.6
TOTAL	202.0sq.m.
AREA OF SITE	465 sq.m.
SITE COVER	43.4%

REAL PROPERTY DESCRIPTION  
 LOT 249 ON SP209075  
 PARISH: REDCLIFFE  
 COUNTY: STANLEY  
 AREA : 465 sq.m.

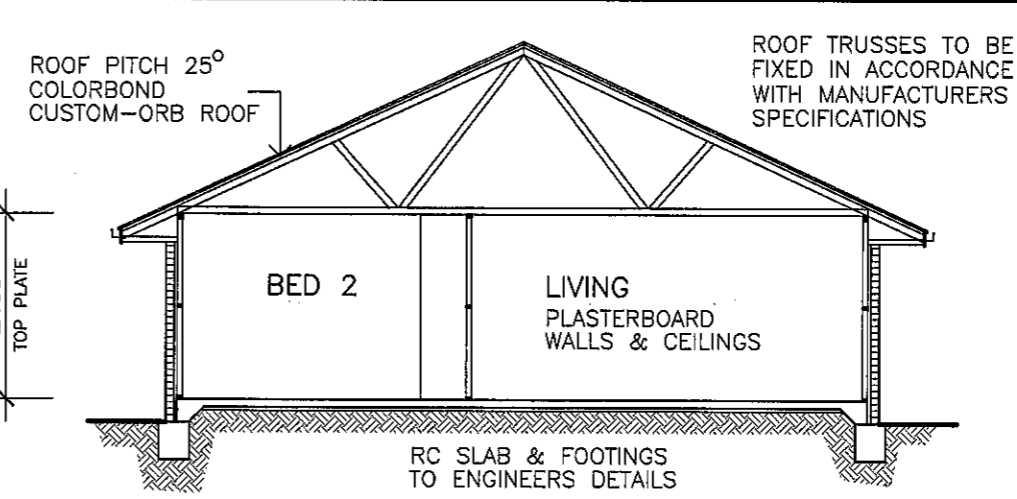
**SITE PLAN**  
 SCALE 1: 200

DRAWN: A.WATTS  
 DATE: 04/04/11  
 JOB NO.  
 CHECKED:  
 SCALE: AS SHOWN  
 SHEET No. 1 OF 4

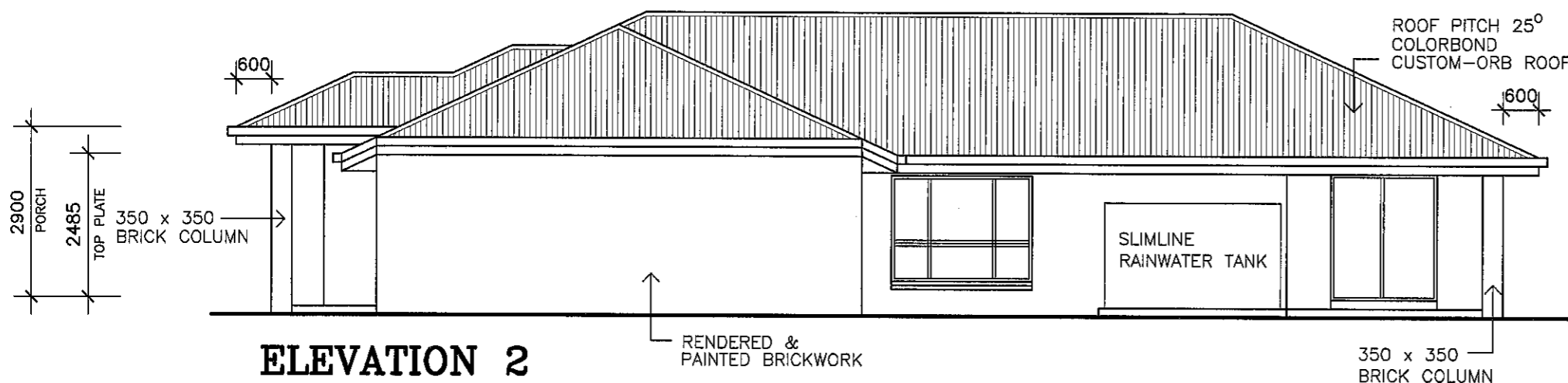




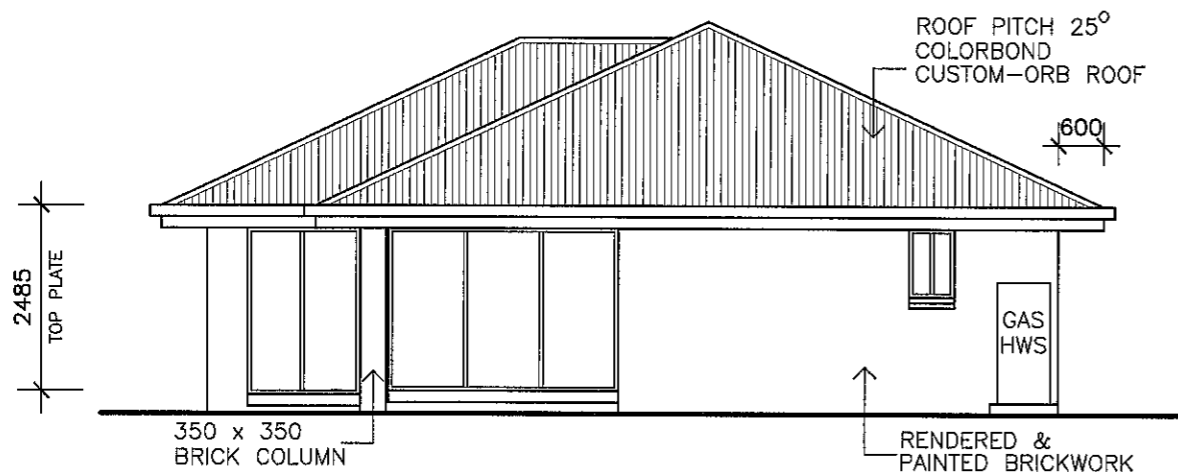
**ELEVATION 1**



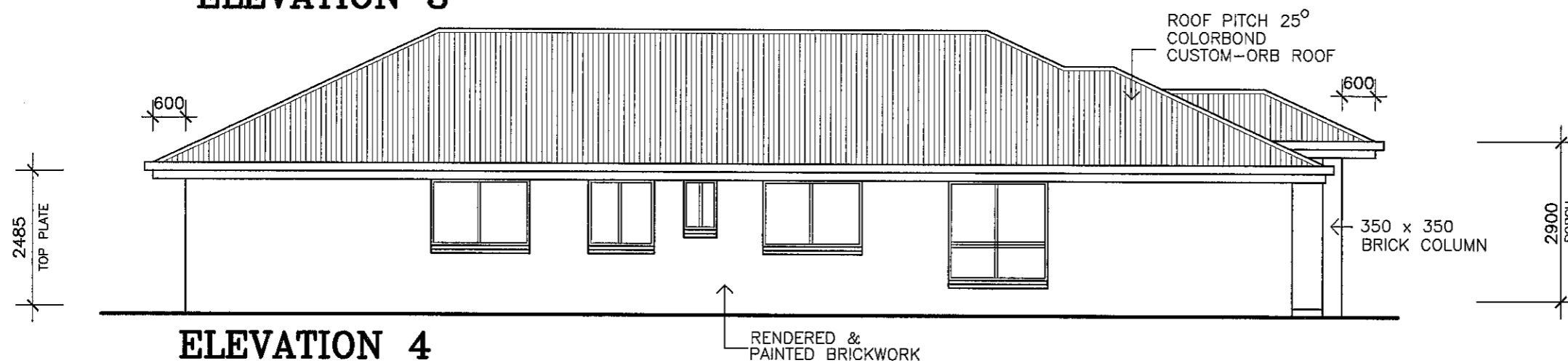
**SECTION A**



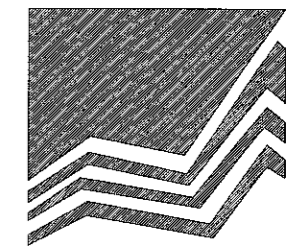
**ELEVATION 2**



**ELEVATION 3**



**ELEVATION 4**



**MANCORP**  
QUALITY HOMES

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LOCATION  
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AMENDMENTS

ISSUE	DATE	DESCRIPTION
A	04/04/11	PRELIMINARY

DRAWN: A.WATTS      CHECKED:  
DATE: 04/04/11      SCALE: AS SHOWN  
JOB NO.      SHEET No. 3 OF 3